

PLANNING COMMITTEE - WEDNESDAY, 8TH MAY 2024

## UPDATES FOR COMMITTEE

**Agenda No    Item**

4.     **Presentation on Planning Applications** (Pages 3 - 150)
  
5.     **Committee Updates** (Pages 151 - 158)

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# Planning Committee

8 May 2024



Agenda Item 4

# Planning Committee 8 May 2024 Applications Presentations



4

**Planning Committee  
App No 23/10623**  
Land at Everton Nurseries,  
Christchurch Road  
Everton Hordle SO41 0BF  
Schedule 3a

3 3a 23/10623

**Planning Committee  
App No 23/10172**  
Land South of Hythe Road and East of St. Contest Way  
Marchwood  
SO40 4WU  
Schedule 3b

51 3b 23/10172

**Planning Committee  
App No 22/11268**  
Middle Burgate,  
Salisbury Road  
Burgate, Fordingbridge SP6 1LX  
Schedule 3c

66 3c 22/11268

**Planning Committee  
App No 23/10926**  
Crockets  
Linford Road  
Ringwood  
Schedule 3d

105 3d 23/10926

**Planning Committee  
App No 23/10454**  
3 Priestlands Place,  
Lymington  
SO41 9GA  
Schedule 3e

127 3e 23/10454

**Planning Committee  
App No 23/10516**  
3 Priestlands Place,  
Lymington  
SO41 9GA  
Schedule 3f

137 3f 23/10516

# Planning Committee

## App No 23/10623

Land at Everton Nurseries,

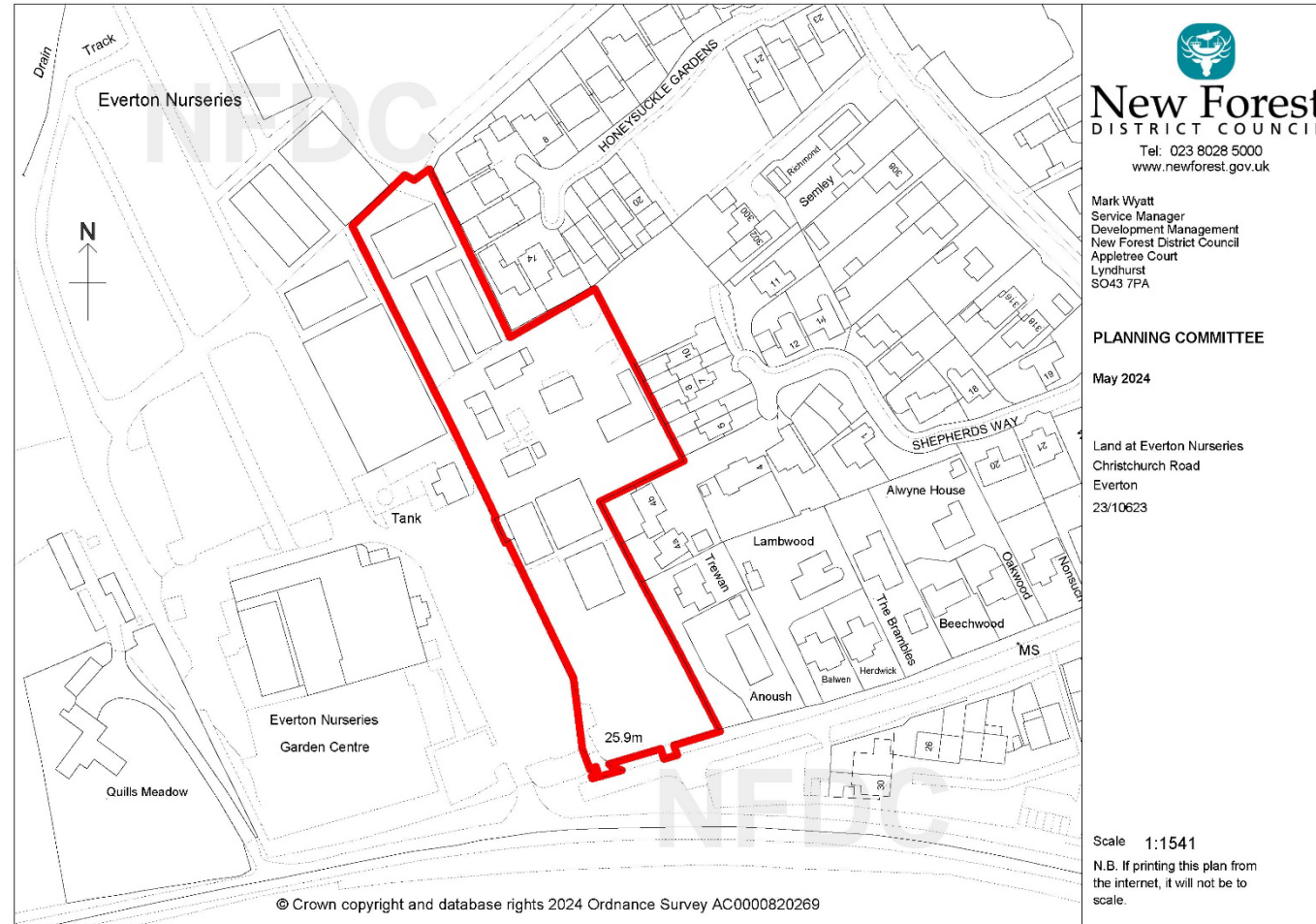
Christchurch Road

Everton Hordle SO41 0BF

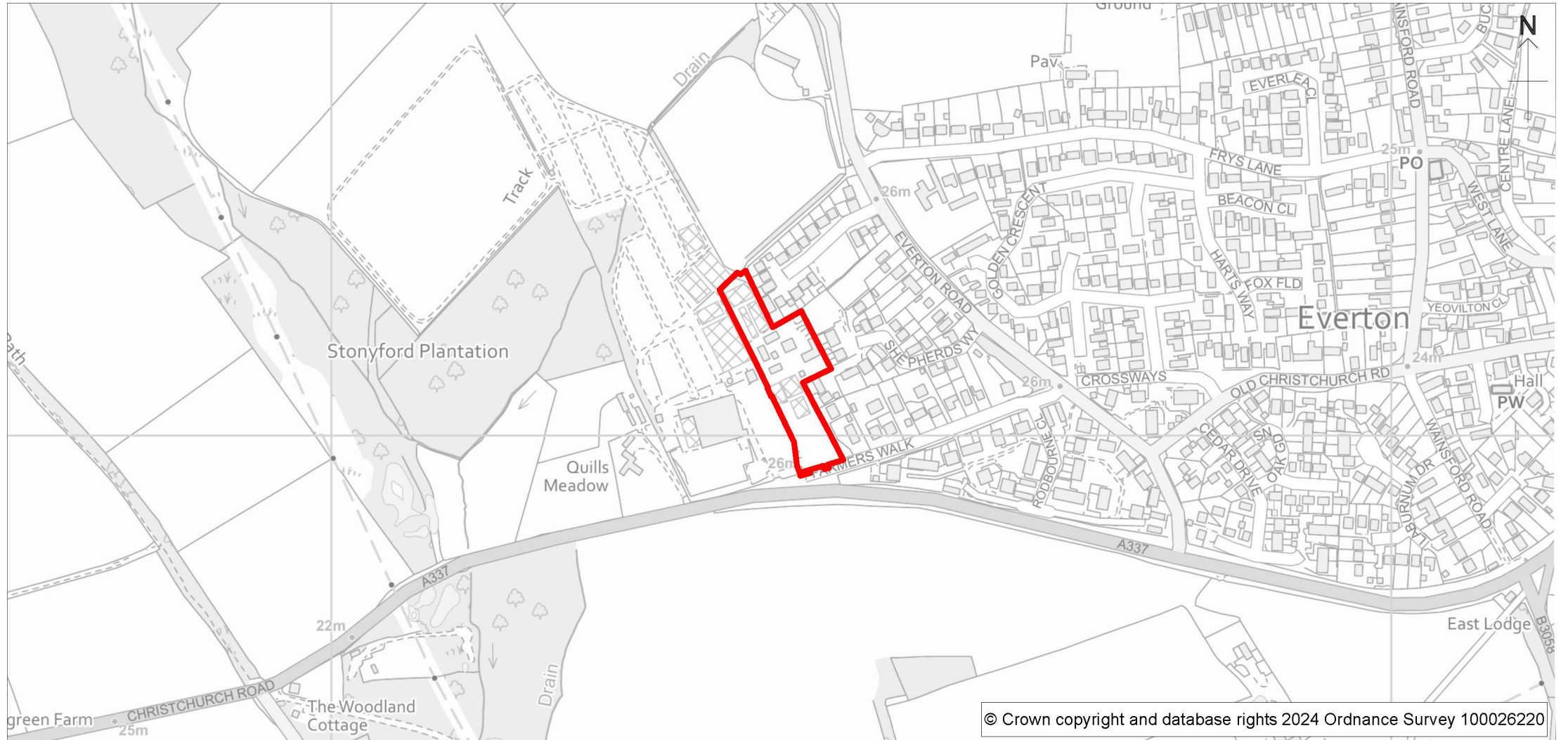
**Schedule 3a**

# Red line plan

9



# Local context



7



# Aerial photograph

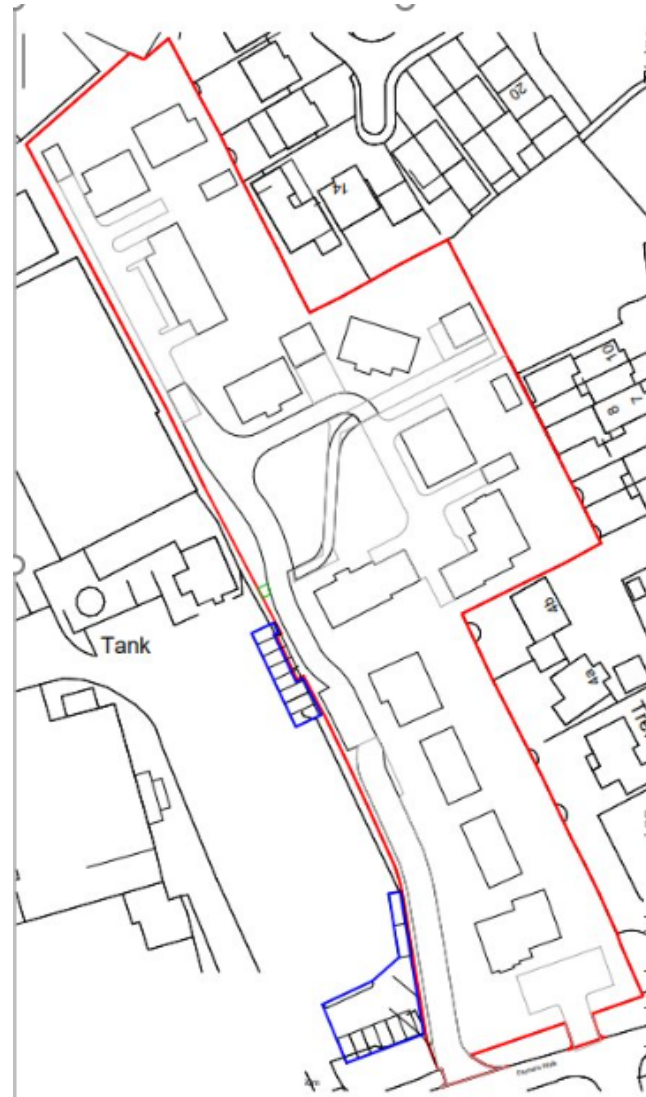


8

# Block Plan



6



7

3a 23/10623



# Site Layout Plan

10





# Site Layout Plans

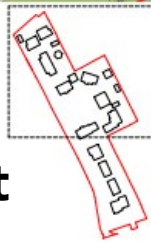
11



## Northern Extract

1 Site Plan Proposed Northern Extract

1:200



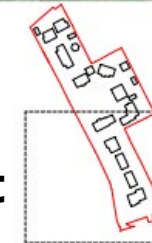
**WLA**  
**WLA WilliamsLester.**  
 E.G. Dunford Ltd  
 Everton Nurseries  
 Churchchurch Road, Lynton  
 SA21 0SP  
 Proposed Site Plan -  
 Northern extract  
 E Developed Design  
 For Approval  
 6075-WLA-XX-ZZ-DR-A-01124



## Southern Extract

1 Site Plan Proposed Southern Extract

1:200



**WLA**  
**WLA WilliamsLester.**  
 E.G. Dunford Ltd  
 Everton Nurseries  
 Churchchurch Road, Lynton  
 SA21 0SP  
 Proposed Site Plan -  
 Southern extract  
 E Developed Design  
 For Approval  
 6075-WLA-XX-ZZ-DR-A-01124

# Site Layout : Plot 7 and 8 relationship



12



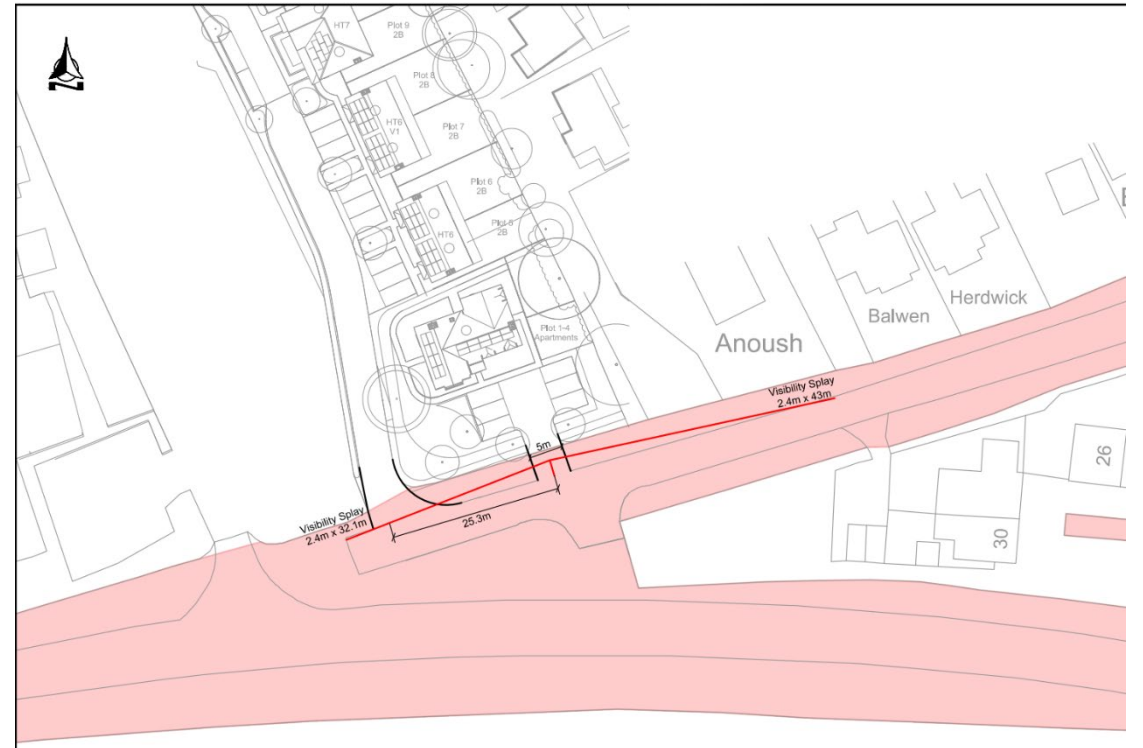
10

3a 23/10623



# Access Plans

13



# Landscaping Plan



14



12

3a 23/10623

# Public Open Space Plan



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13

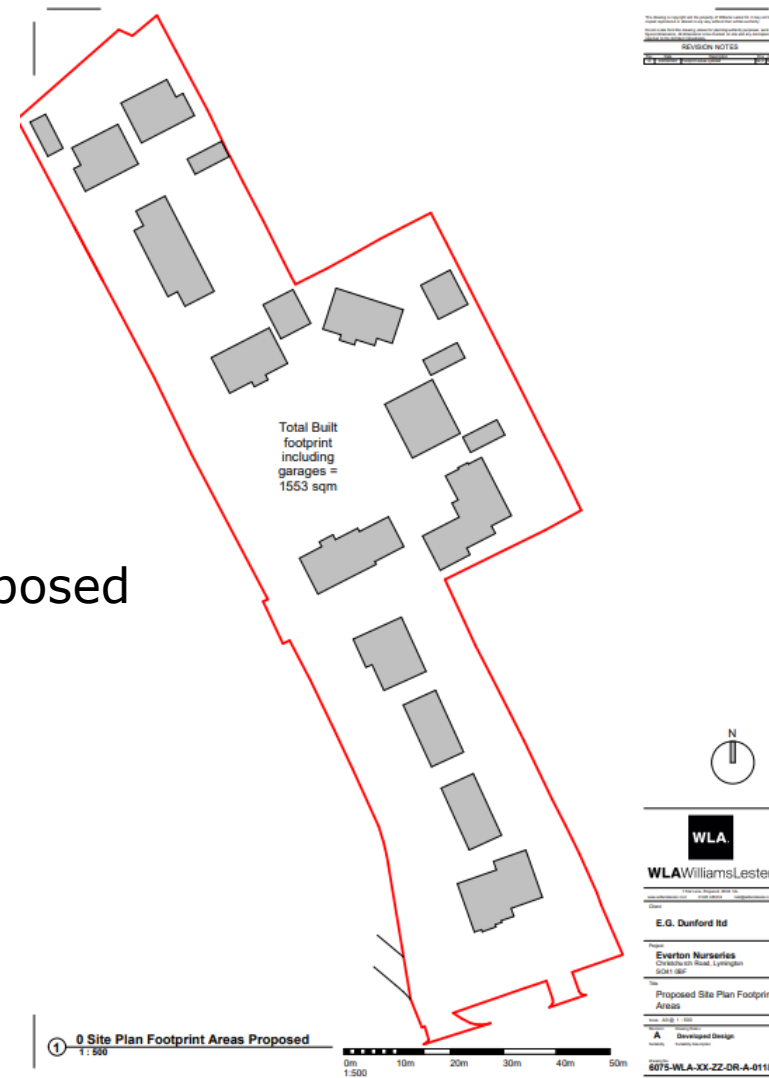
3a 23/10623

# Footprint Plans

Existing



Proposed







# Volumetric Plan: Proposed

18



① 3D - Proposed

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www.williamslester.com

REVISION NOTES		
No.	Description	Date
1	Approved for submission	15/01/2014

**WLA.**

**WLA**WilliamsLester.

Williams Lester, One West Lane, Ringwood, B20 1DP  
www.williamslester.com 01420 820210 info@williamslester.com

Client

**E.G. Dunford Ltd**

Project

**Everton Nurseries**  
Christchurch Road, Lymington  
SO41 0BF

Title

**Proposed Volumes 3D**

Scale

A3 @

Author

**A** Developed Design

Checker

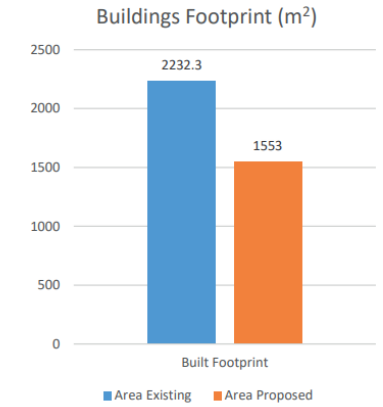
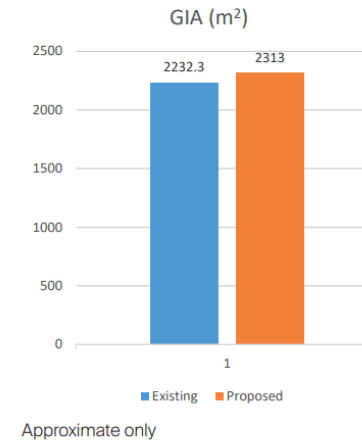
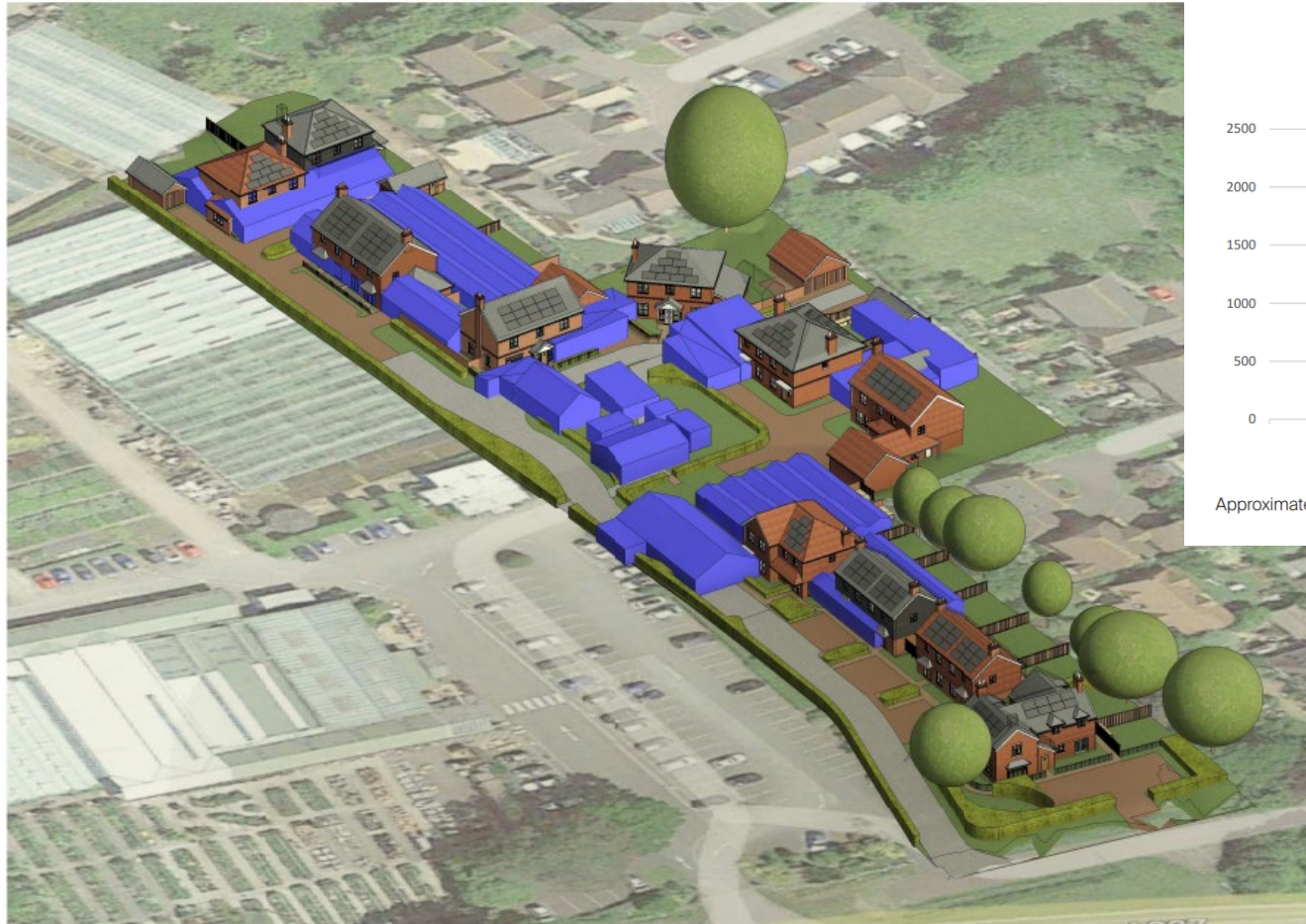
Assembly Drawing

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# Existing and Proposed massing: comparison plan

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① 3D - Proposed existing structures overlay

# Elevations: Flats - Plot 1-4



① **Farmers Walk Elevation**  
1:100



② **Access Rd Elevation**  
1:100

REVISION NOTES			
Rev.	Date	Description	Drawn By
A	20/06/2023	Clear panels indicated	PL117 PL117



③ **North Elevation**  
1:100



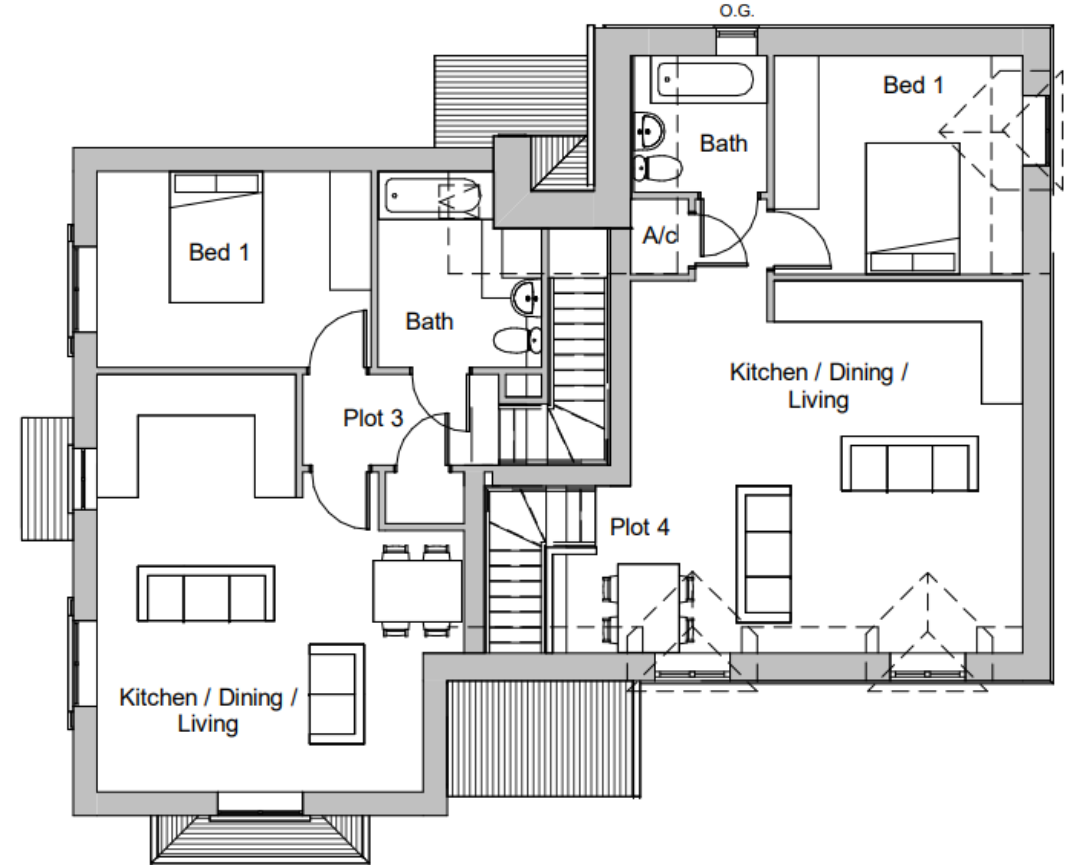
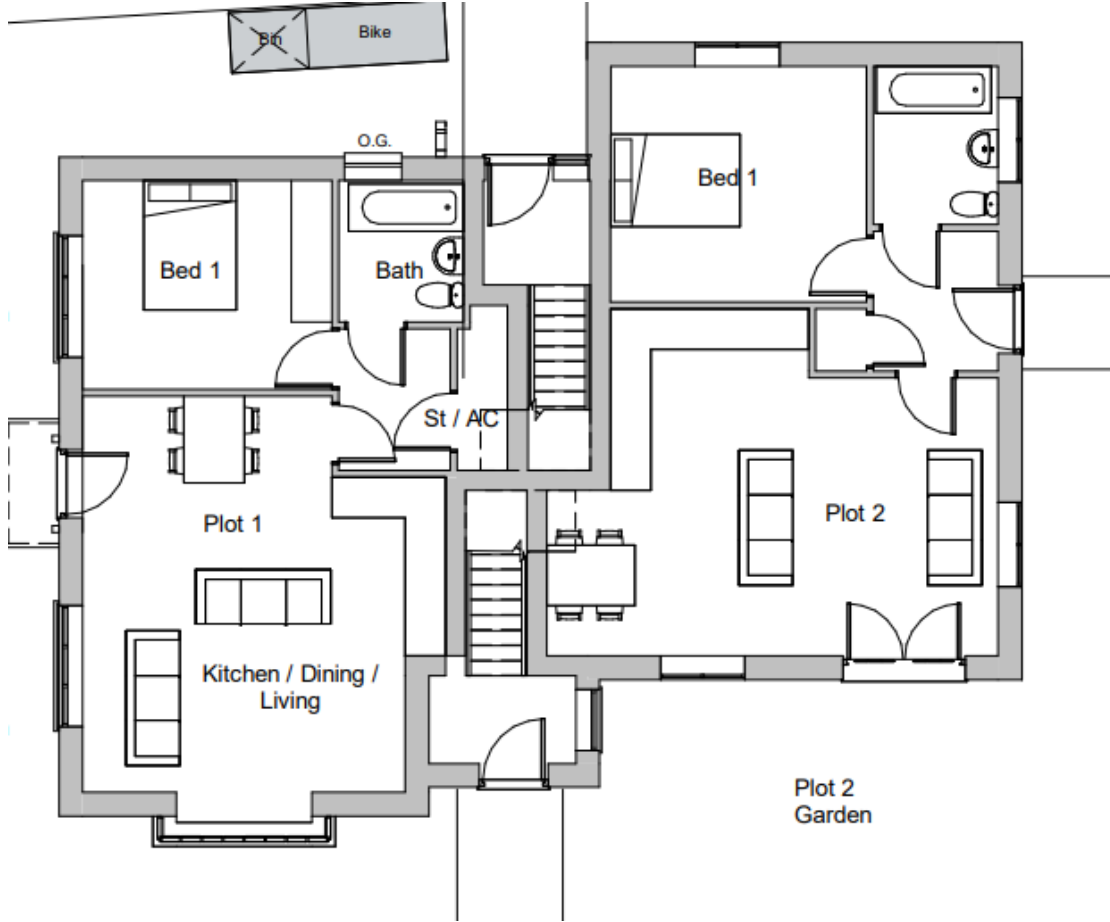
④ **East Elevation**  
1:100



# Floorplans Flats - Plot 1-4



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# Elevations HT1



① **Front Elevation**  
1 : 100



② **Side 1 Elevation**  
1 : 100



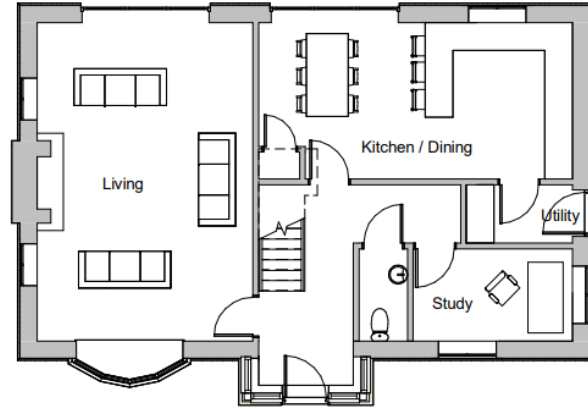
③ **Rear Elevation**  
1 : 100



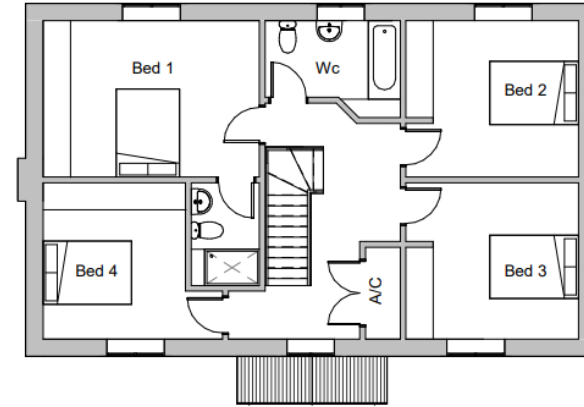
④ **Side 2 Elevation**  
1 : 100

# Floorplans HT1

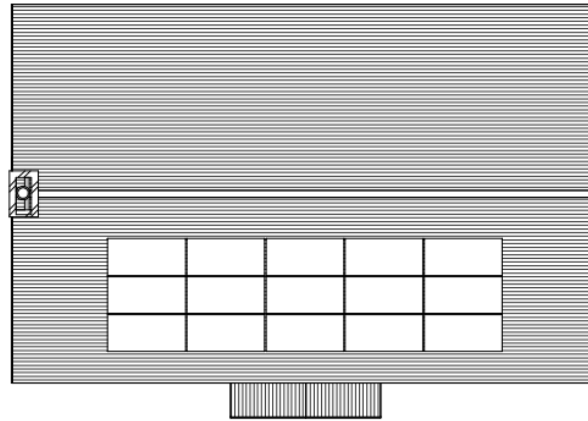
23



① 0 Ground Floor FFL  
1:100



② 1 First Floor FFL  
1:100



③ 4 Roof Plan  
1:100



# Elevations HT2



REV



① **Front Elevation**  
1 : 100



② **Rear Elevation**  
1 : 100



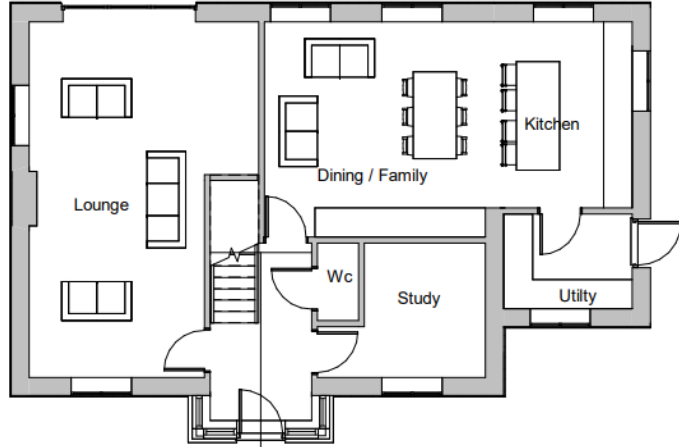
③ **Side Elevation 2**  
1 : 100



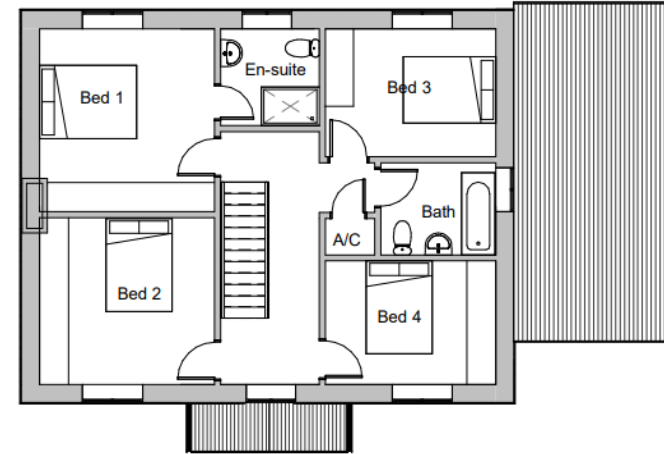
④ **Side Elevation 1**  
1 : 100

# Floorplans HT2

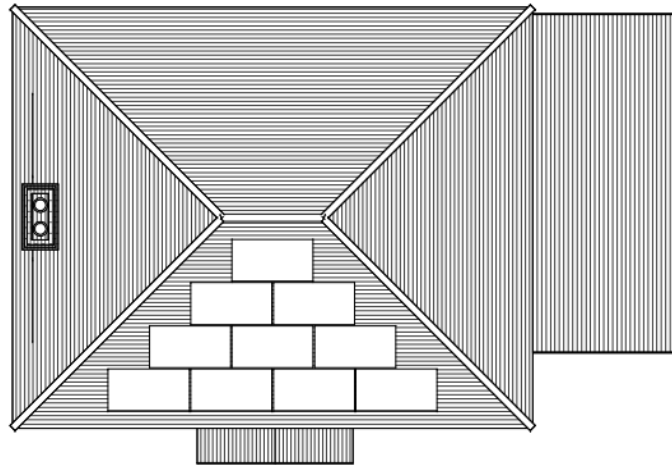
25



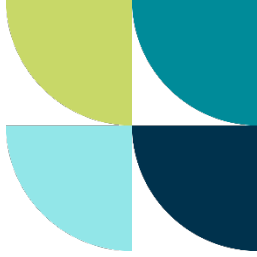
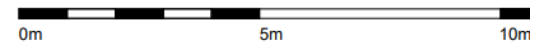
① 0 Ground Floor FFL  
1: 100



② 1 First Floor FFL  
1: 100



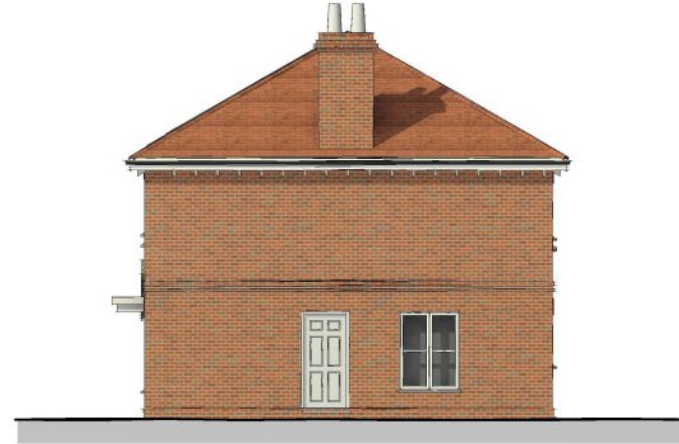
③ 4 Roof Plan  
1: 100



# Elevations HT3



① **Front Elevation**  
1 : 100



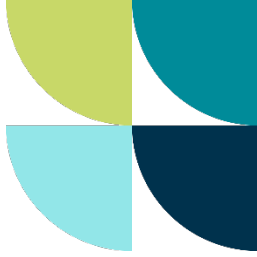
③ **Side Elevation 1**  
1 : 100



② **Rear Elevation**  
1 : 100



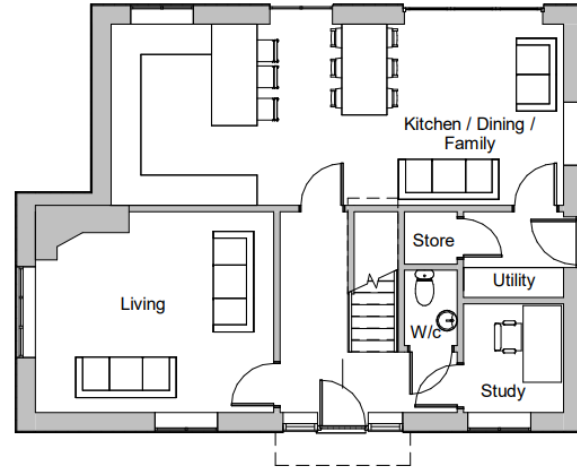
④ **Side Elevation 2**  
1 : 100



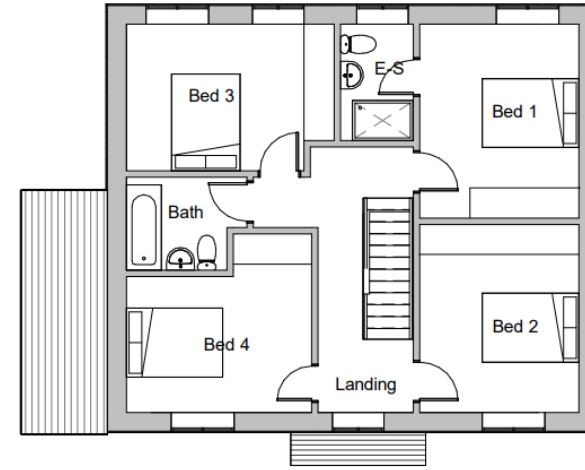


# Floorplans HT3

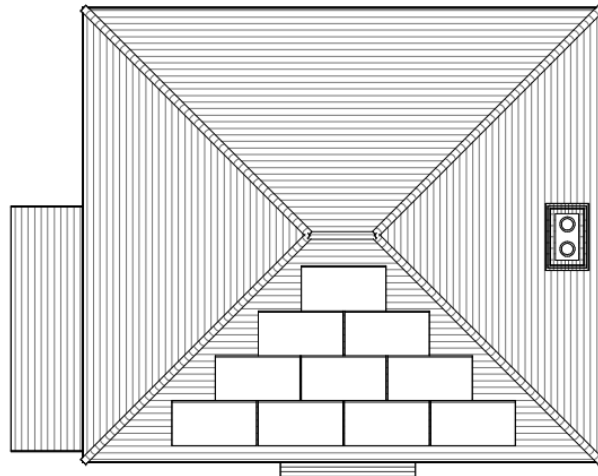
27



① 0 Ground Floor FFL  
1 : 100



② 1 First Floor FFL  
1 : 100

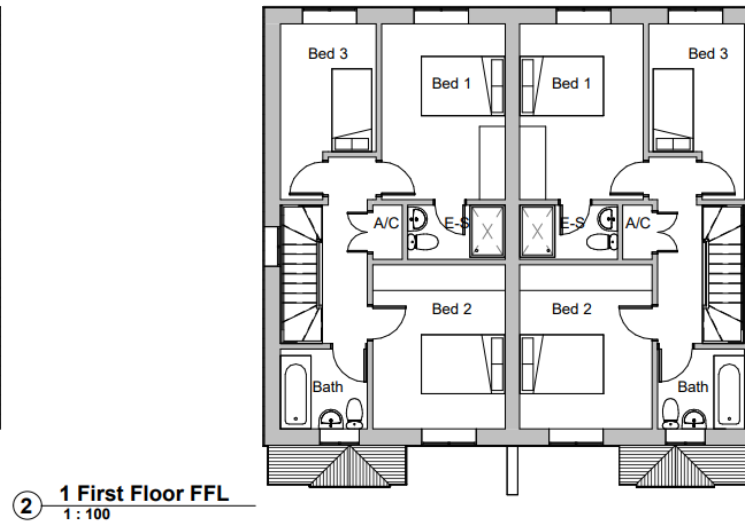
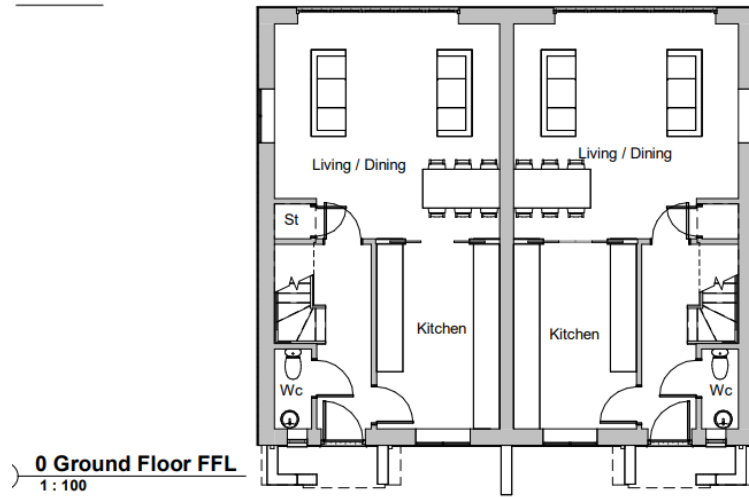


# Elevations HT4



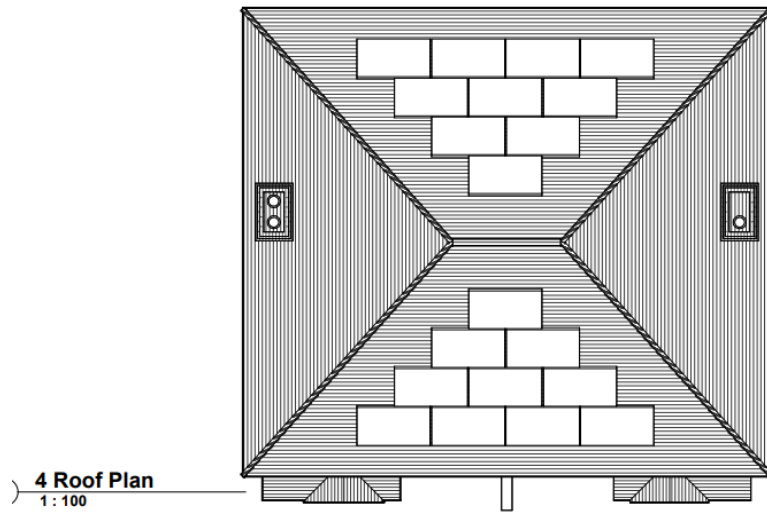
# Floorplans HT4

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REVISION NOTES

No.	Date	Description	Rev. No.
1	01/08/2023	Final design	1/01/2021
2	01/08/2023	Final design	1/01/2021



House Type 4	
Name	Area
Plot 14 Ground Floor	48 m <sup>2</sup>
Plot 14 First Floor	48 m <sup>2</sup>
Plot 13 First Floor	48 m <sup>2</sup>
Plot 13 Ground Floor	48 m <sup>2</sup>

Parking:  
Single Garage, plus 2no surface parking spaces each



Project  
Everton Nurseries  
Everton Nurseries, Everton



HT4 - Proposed Plan

# Elevations HT5

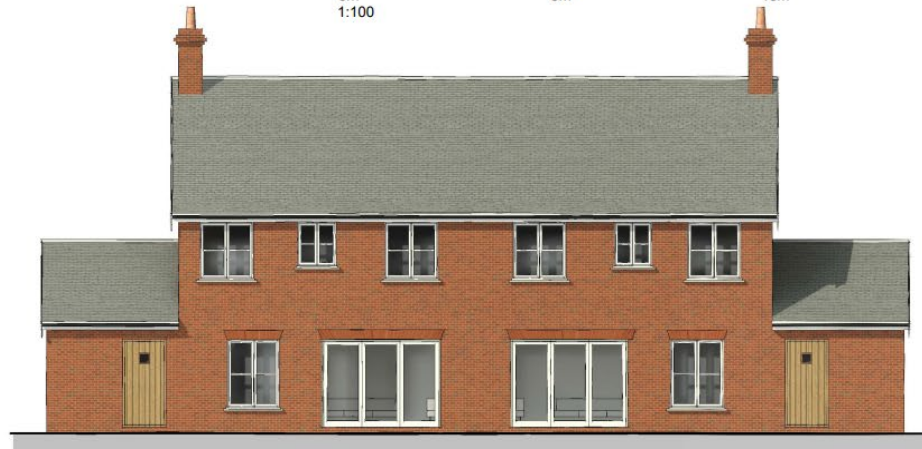


① Front Elevation  
1:100



③ Side Elevation 1  
1:100

REVISION NOTES			
No.	Date	Description	By
1		Construction - Single raised kerbs, 450 concrete	HT5



② Rear Elevation  
1:100



④ Side Elevation 2  
1:100

Project  
**Everton Nurseries**  
Everton Nurseries, Everton

Client



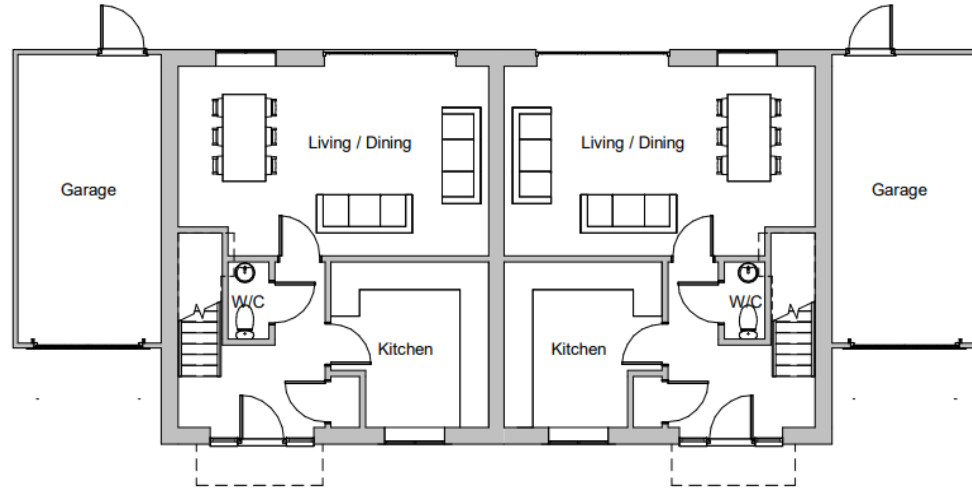
Title  
**HT5 - Proposed Elevations**

Scale: A3 @ 1:100  
Revision: Drawing Set  
**A** Developed Design

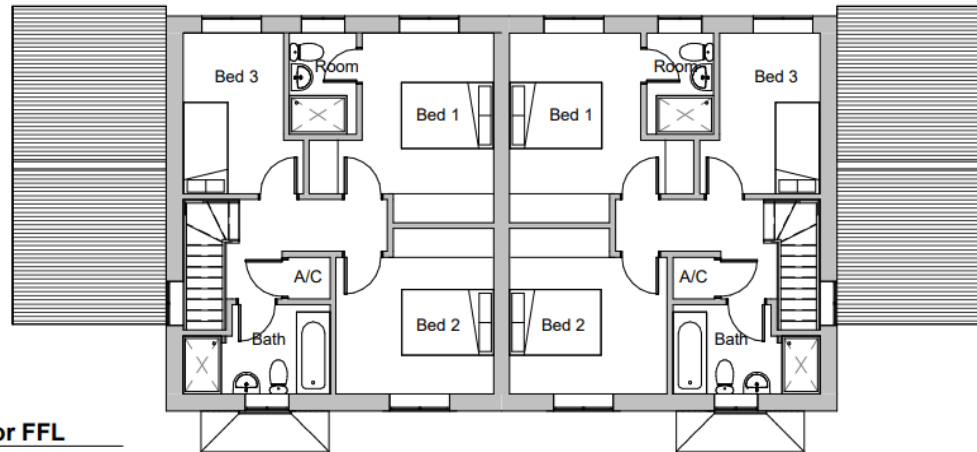
# Floorplans HT5



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① 0 Ground Floor FFL  
1:100



② 1 First Floor FFL  
1:100



# Elevations HT6 V1



① **Front Elevation**  
1 : 100



③ **Side 1 Elavation**  
1 : 100



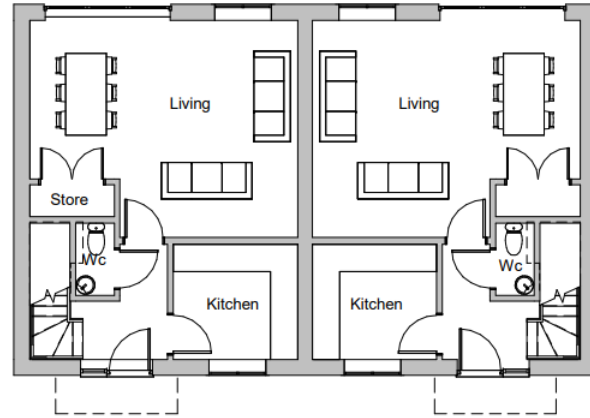
② **Rear Elevation**  
1 : 100



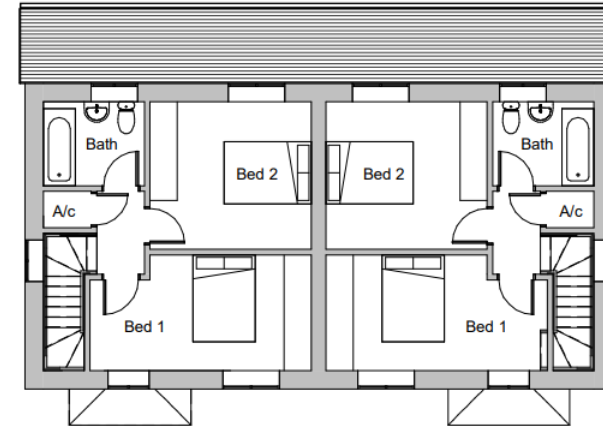
④ **Side 2 Elavation**  
1 : 100

# Floorplans HT6 V1

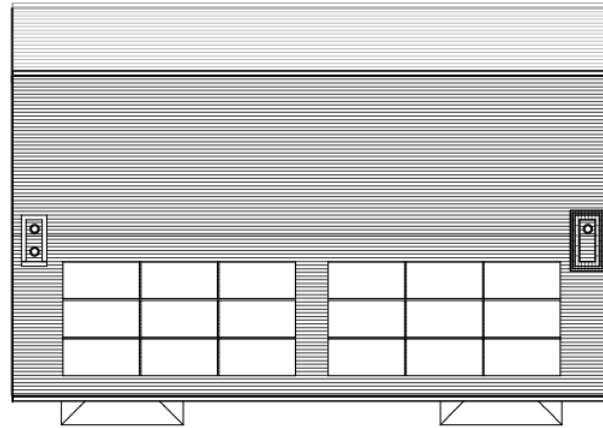
33



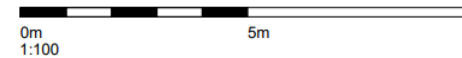
① 0 Ground Floor FFL  
1 : 100



② 1 First Floor FFL  
1 : 100



③ 4 Roof Plan  
1 : 100



# Elevations HT7



① **Front Elevation**  
1 : 100



② **Rear Elevation**  
1 : 100



③ **Side Elevation 1**  
1 : 100



④ **Side Elevation 2**  
1 : 100

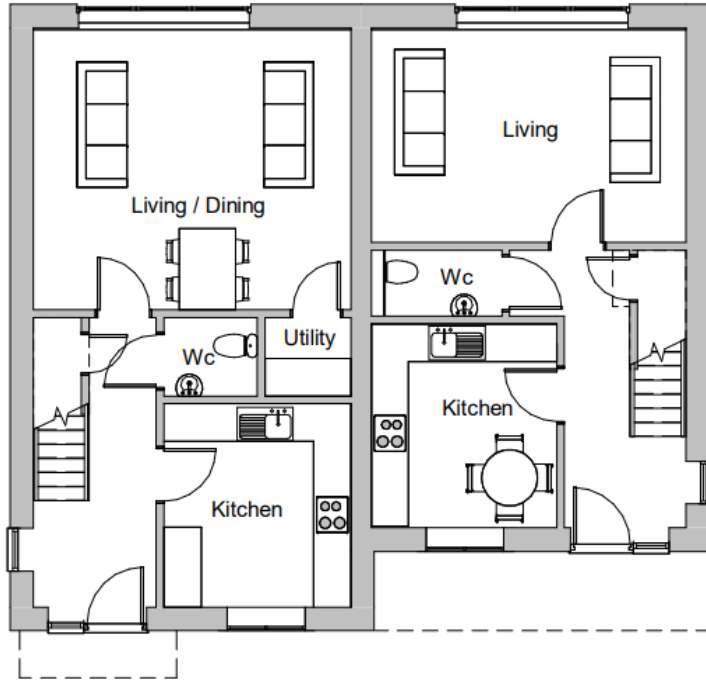
REVISION	
No.	Description
A	General notes Feedback



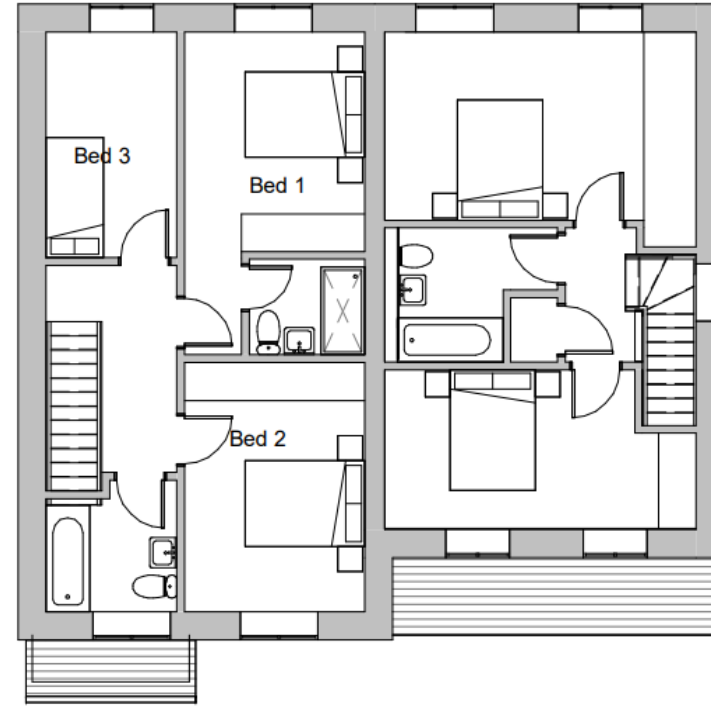
# Floorplans HT7



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① **0 Ground Floor FFL**  
1 : 100



② **1 First Floor FFL**  
1 : 100

# Elevations HT8



① Elevation (Front)  
1 : 100



③ West Elevation  
1 : 100



② North Elevation  
1 : 100



④ East Elevation  
1 : 100

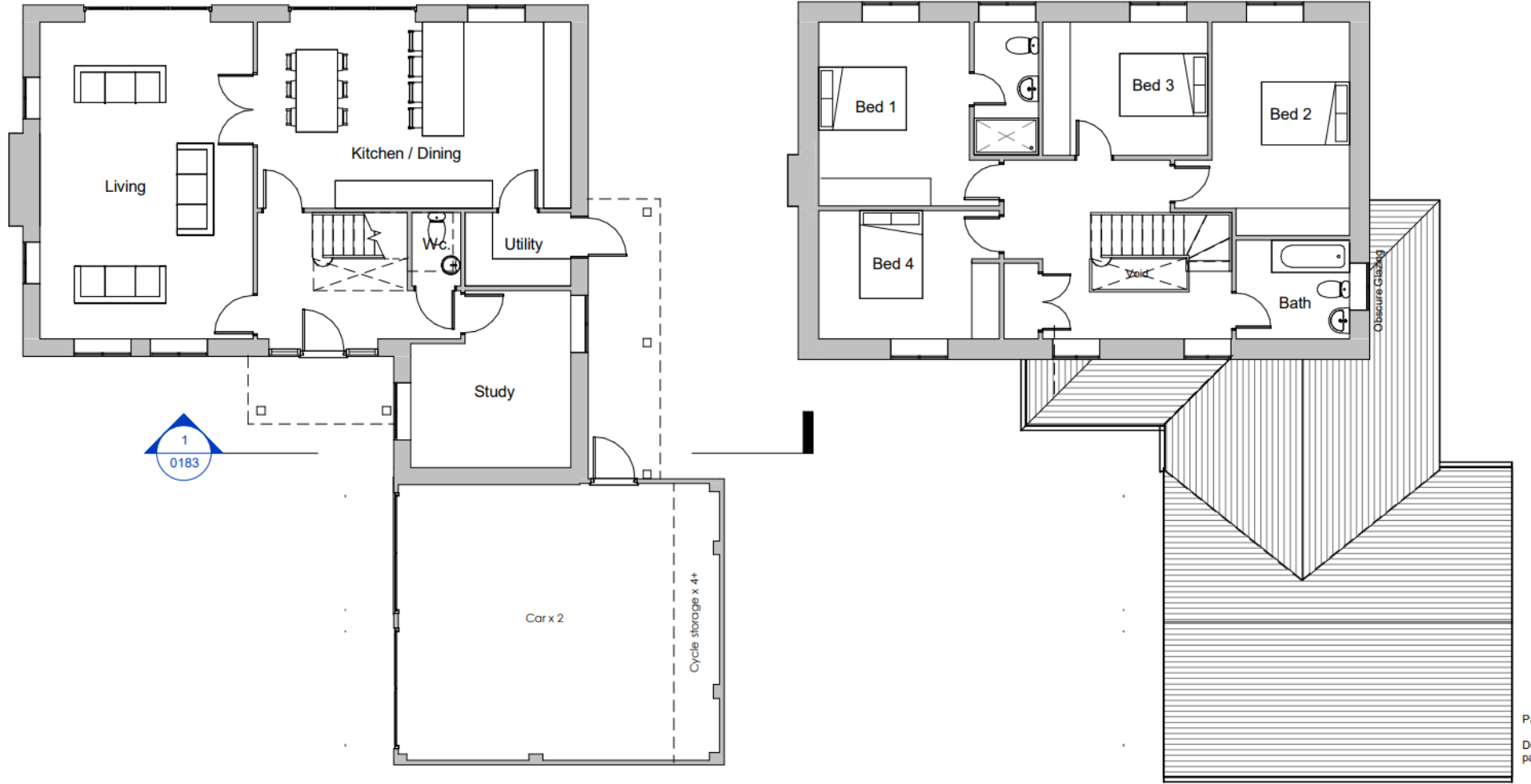


REVISION NOTES	
No.	Description

# Floorplans HT8



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# Photographs: Everton Nurseries



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Main access and street scene

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3a 23/10623



# Photographs: Everton Nurseries parking area



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3a 23/10623



# Photographs: Farmers Walk street scene



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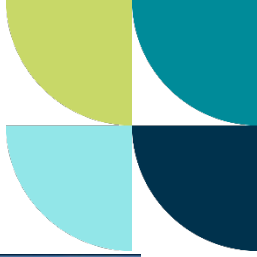
# Photographs: Existing site

41





# Photographs: Existing site glasshouses



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3a 23/10623



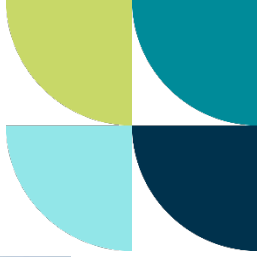
# Photographs: Existing site glasshouses - retained



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# Photographs: Existing site compound - removed



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# Photographs: Access Farmers Walk

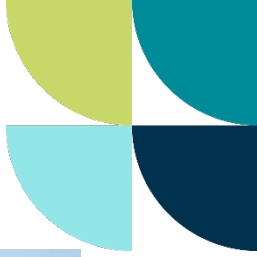


45

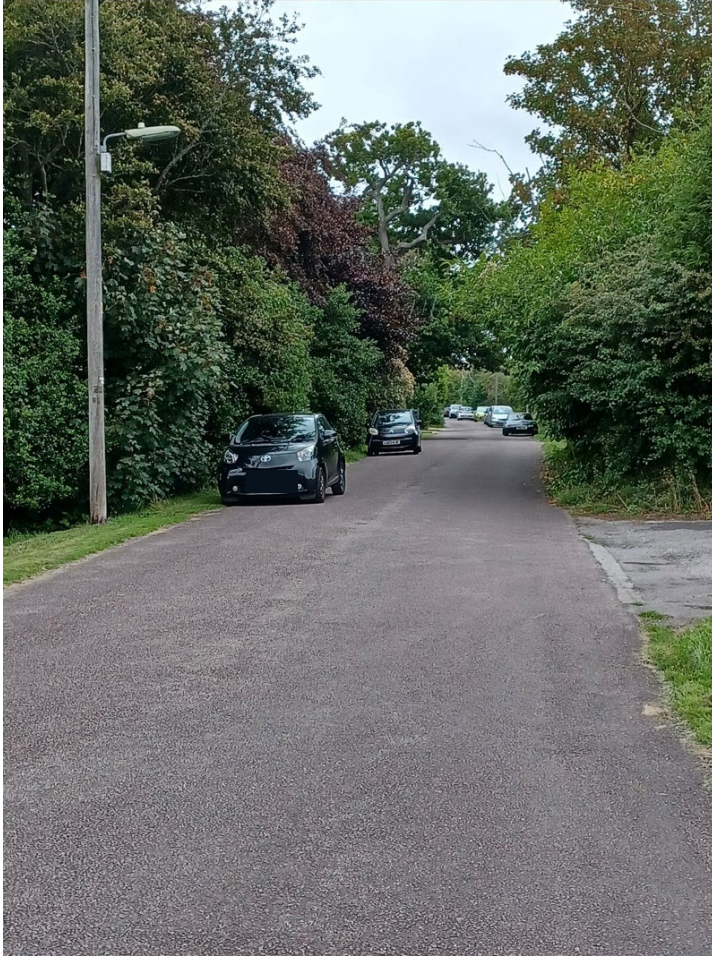




# Photographs: Farmers Walk taken on various days



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# Photographs: Rear of Shepherds Way - to east

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3a 23/10623



# Photographs: 4a Shepherds Way



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Rear boundary 4a



From rear dormer 4a



# Site Photographs: 4b Shepherds Way



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Front



Side boundary



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3a 23/10623

# Site Photographs



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Existing Public open space – towards site with and side of 10 Shepherds Way



# Recommendation

- The site is considered as Previously developed land. The proposals would not cause substantial harm to the openness of the Green Belt and so would therefore comply with the NPPF
- The site would deliver 50% Affordable housing and Public open space
- The layout and design is appropriate for the site; Residential amenity would not be harmed and there would be no highway safety or parking issues
- Important trees would be retained and protected. New landscaping would be undertaken
- **The Recommendation is for approval subject to a S106 agreement and planning conditions**

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End of 3a 23/10623 presentation



**New Forest**  
DISTRICT COUNCIL

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# Planning Committee

## App No 23/10172

Land South of Hythe Road and East of St. Contest Way

Marchwood

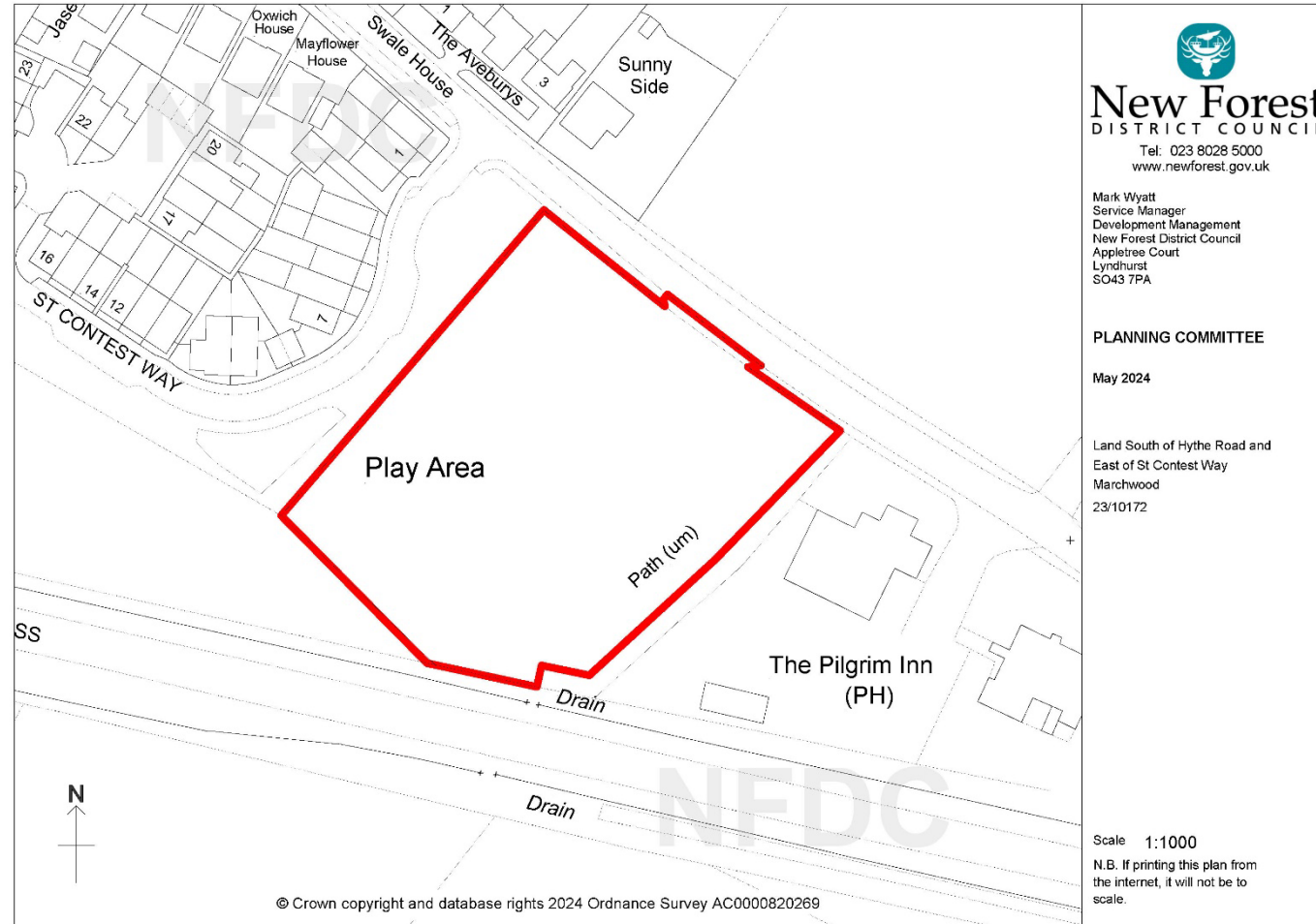
SO40 4WU

**Schedule 3b**

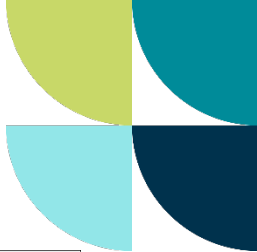
# Red Line Plan



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# Local context



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Local Plan Part 2.  
Site Allocation:  
MAR3 – Residential  
development



# Planning information

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# Aerial photograph



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3b 23/10172



# Site photographs





# Site photographs





# Site photographs



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# Site photographs



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# Proposed scheme layout



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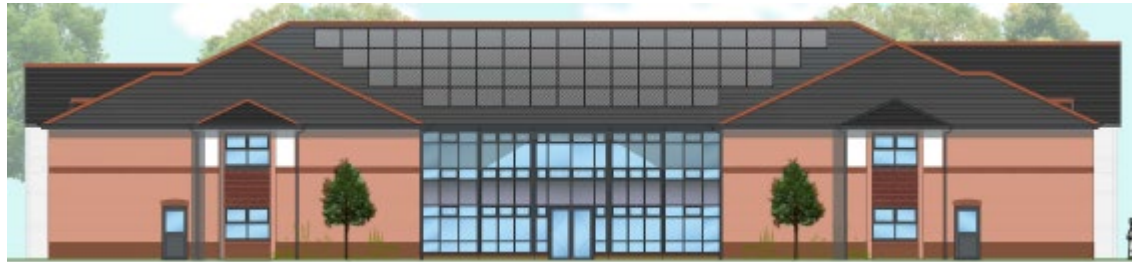
- Proposed 66-bed care home
- Access from Hythe Road
- 34 parking spaces
- No tree loss
- Public right of way



# Proposed elevations



Front



Side elevations

Rear



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# Proposed streetscenes



64

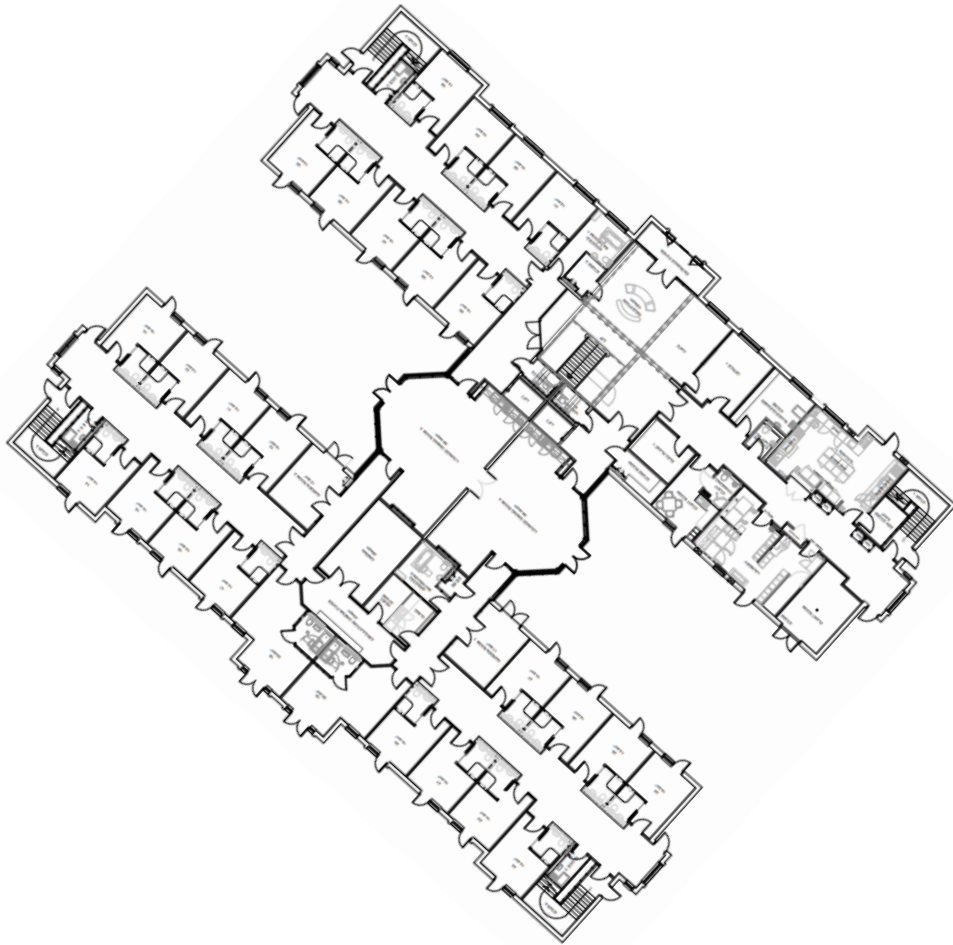


62

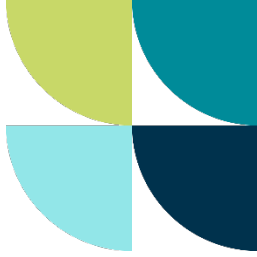
3b 23/10172



# Proposed floor plans



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# Conclusion & Recommendation

- The Scheme provides 66 residential care bed spaces in the built-up area contributing to resolving the shortfall of housing in the District:
  - Economic benefits of employment during construction and on site
  - Environmental benefits of preserving significant landscape features and close to existing residential areas
  - Social benefits of delivering purpose built modern care facilities
  - Delivering a sustainable development
- **GRANT PERMISSION** subject to the imposition of the conditions set out in the report



End of 3b 23/10172 presentation



**New Forest**  
DISTRICT COUNCIL

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# Planning Committee

## App No 22/11268

Middle Burgate,

Salisbury Road

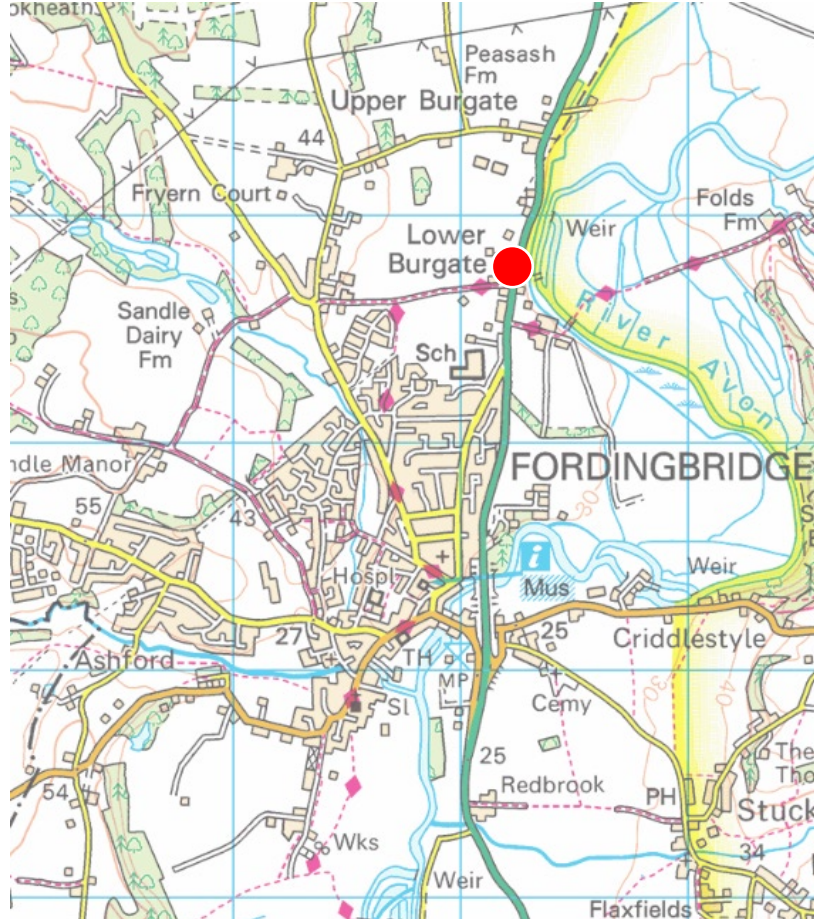
Burgate, Fordingbridge SP6 1LX

**Schedule 3c**



# Site Location

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3c 22/11268





# Fordingbridge Strategic Sites & Planning History

## **SITE 17**

### Land at Whitsbury Road

Tinkers Cross  
64 dwellings  
(20/11469)

Pennyfarthing main site  
342 dwellings  
(21/10052)

Land east of Whitsbury  
Road

## **SITE 16**

### Land at Station Road

CALA Homes  
198 dwellings  
(23/10316)

## **SITE 18**

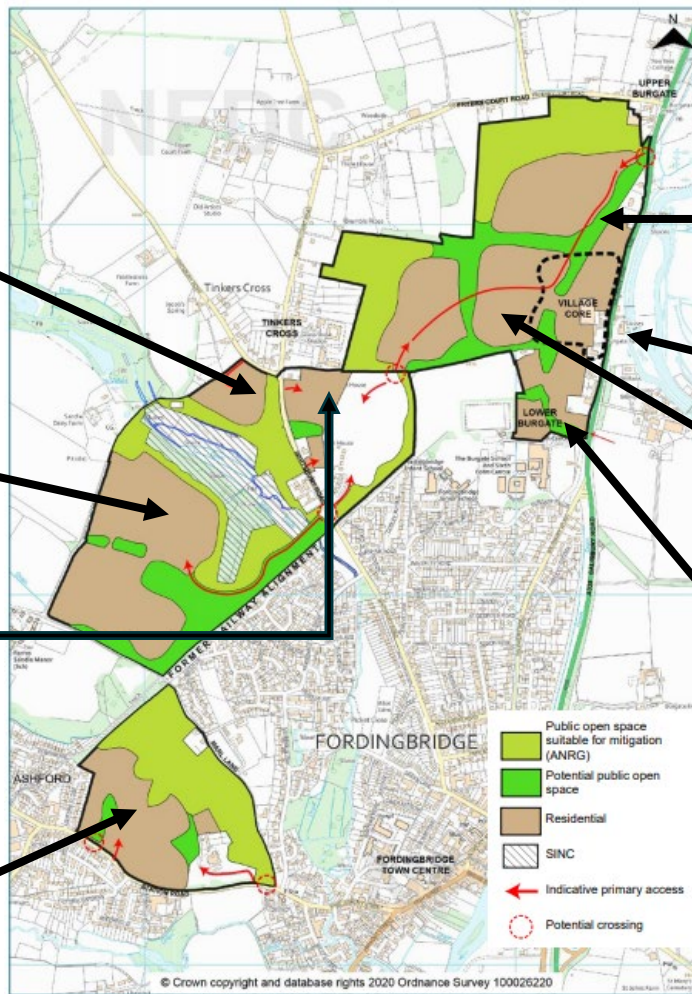
### Land at Burgate

Link Road application  
(23/10518)

Middle Burgate 53  
dwellings  
(22/11268)

Pennyfarthing main site  
404 dwellings  
(21/11237)

Metis Homes 63  
dwellings  
(20/10228)

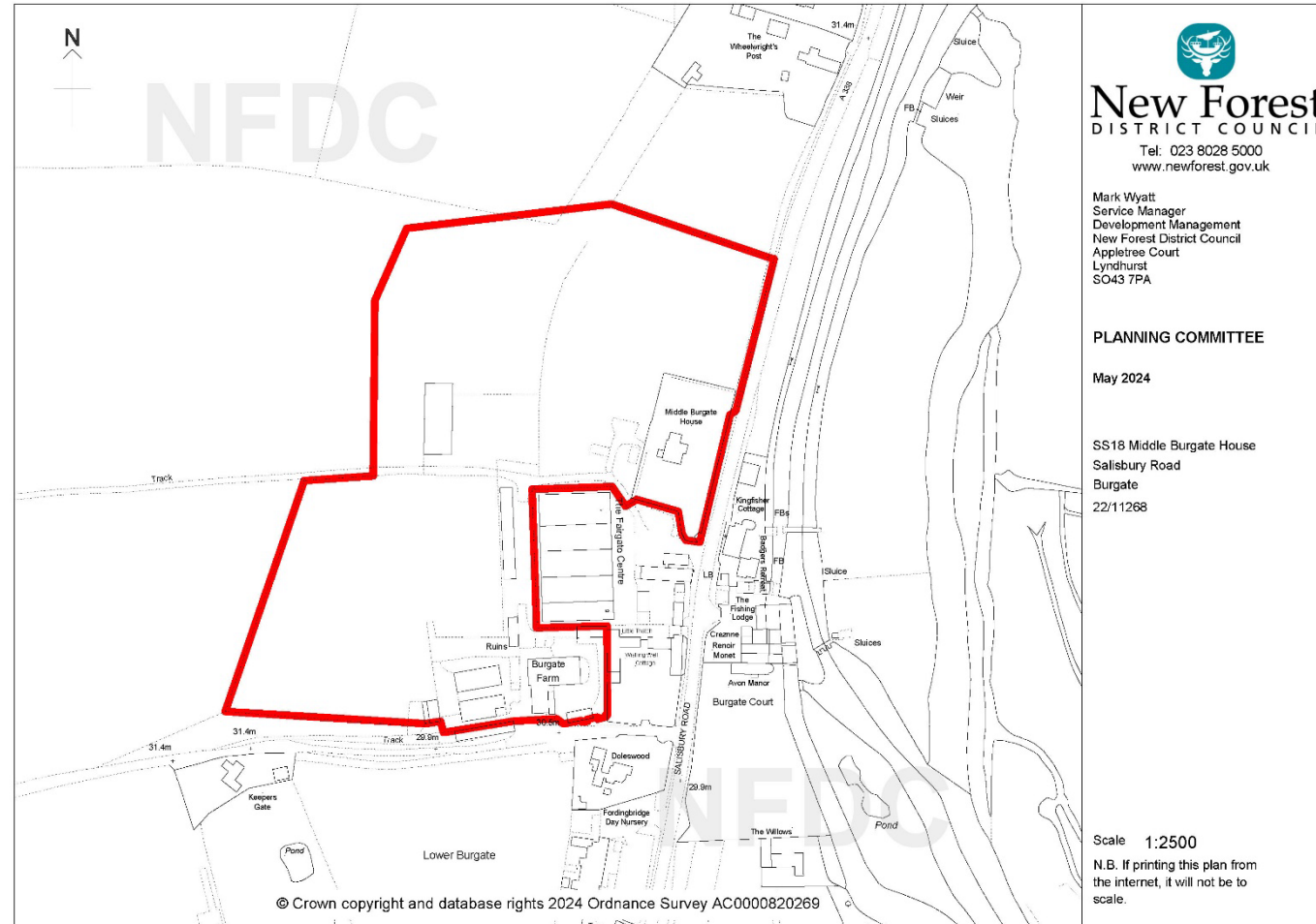


Fordingbridge Strategic Site Allocations Overview

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# Red line plan

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# Aerial photograph



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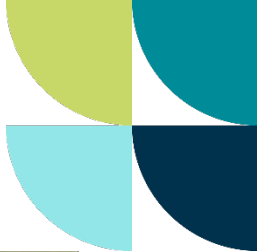
72

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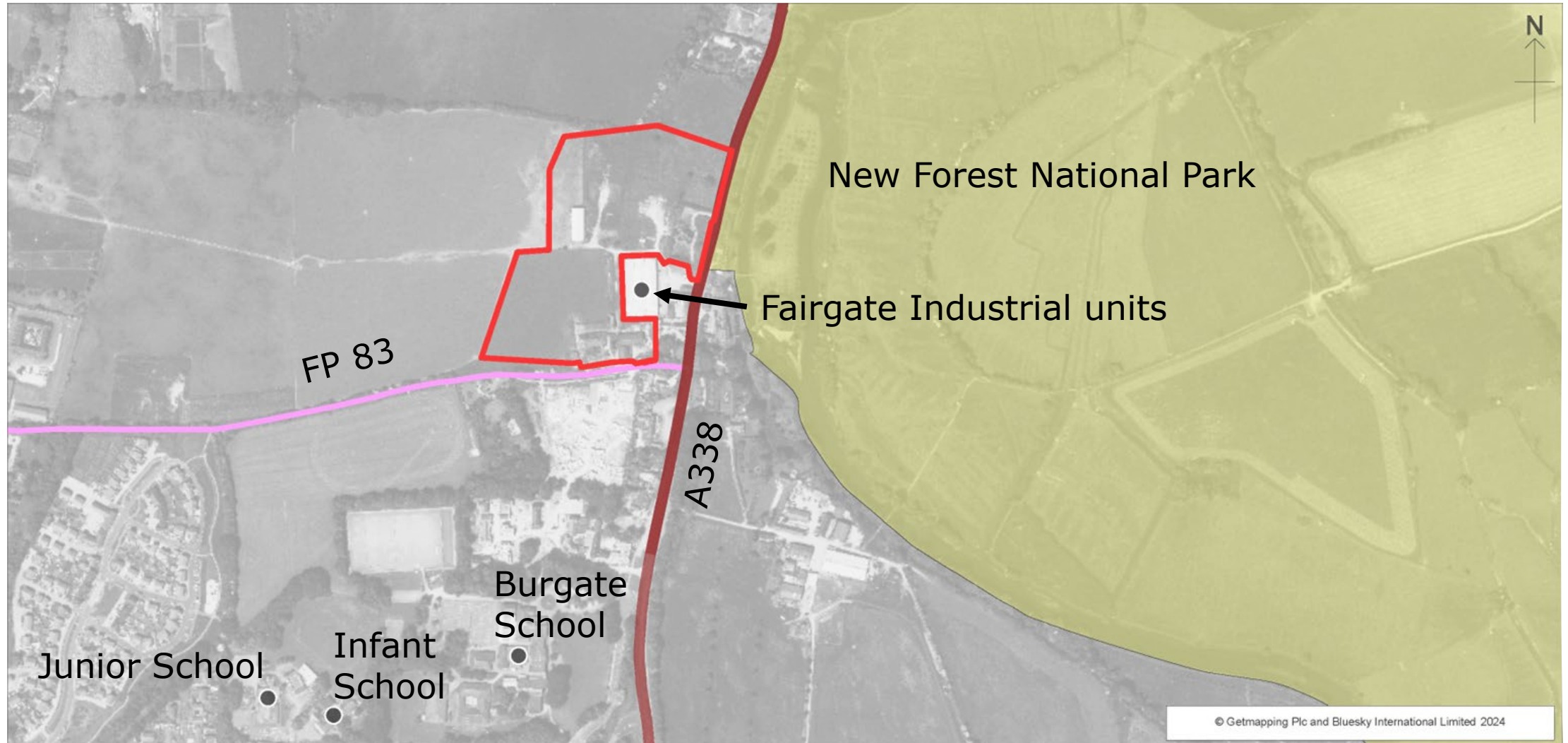
3c 22/11268



# Local context



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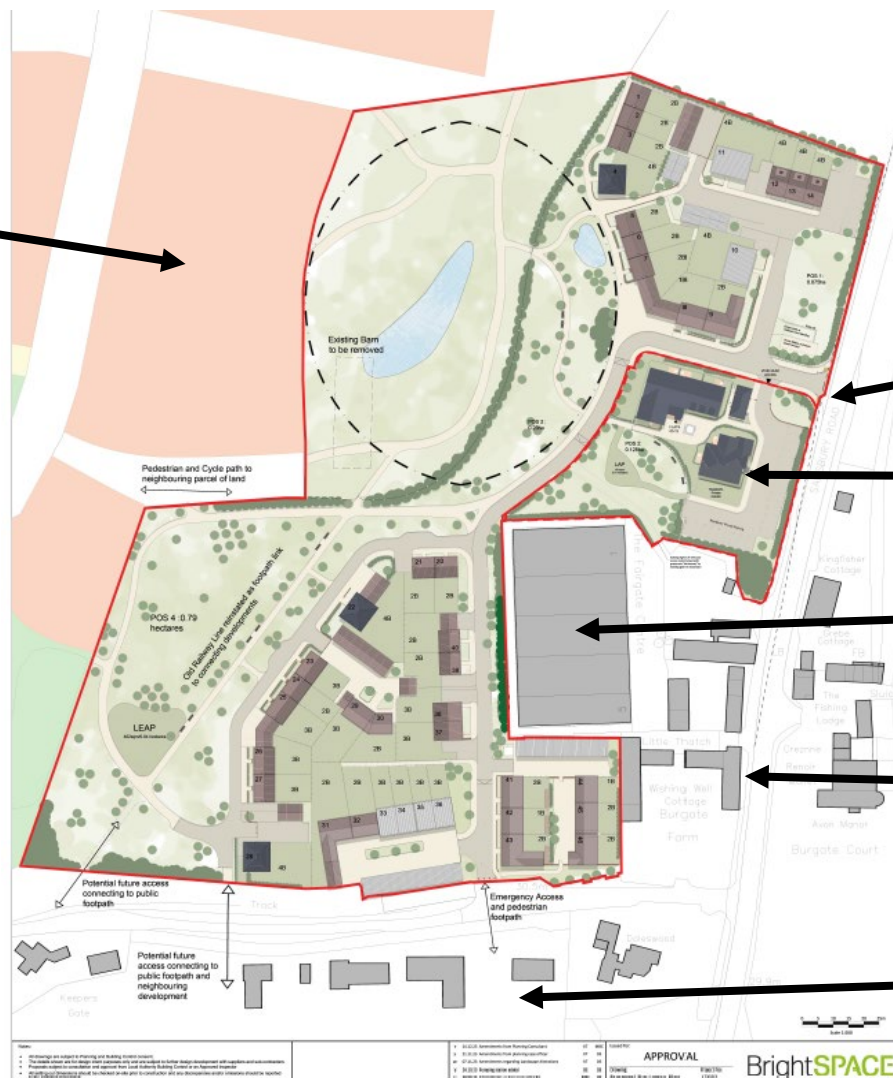
71

3c 22/11268



# Proposed Site layout

Pennyfarthing Homes site



New junction from A338



Middle Burgate House



Fairgate Centre



Burgate Farmhouse Listed Building



Metis Homes site



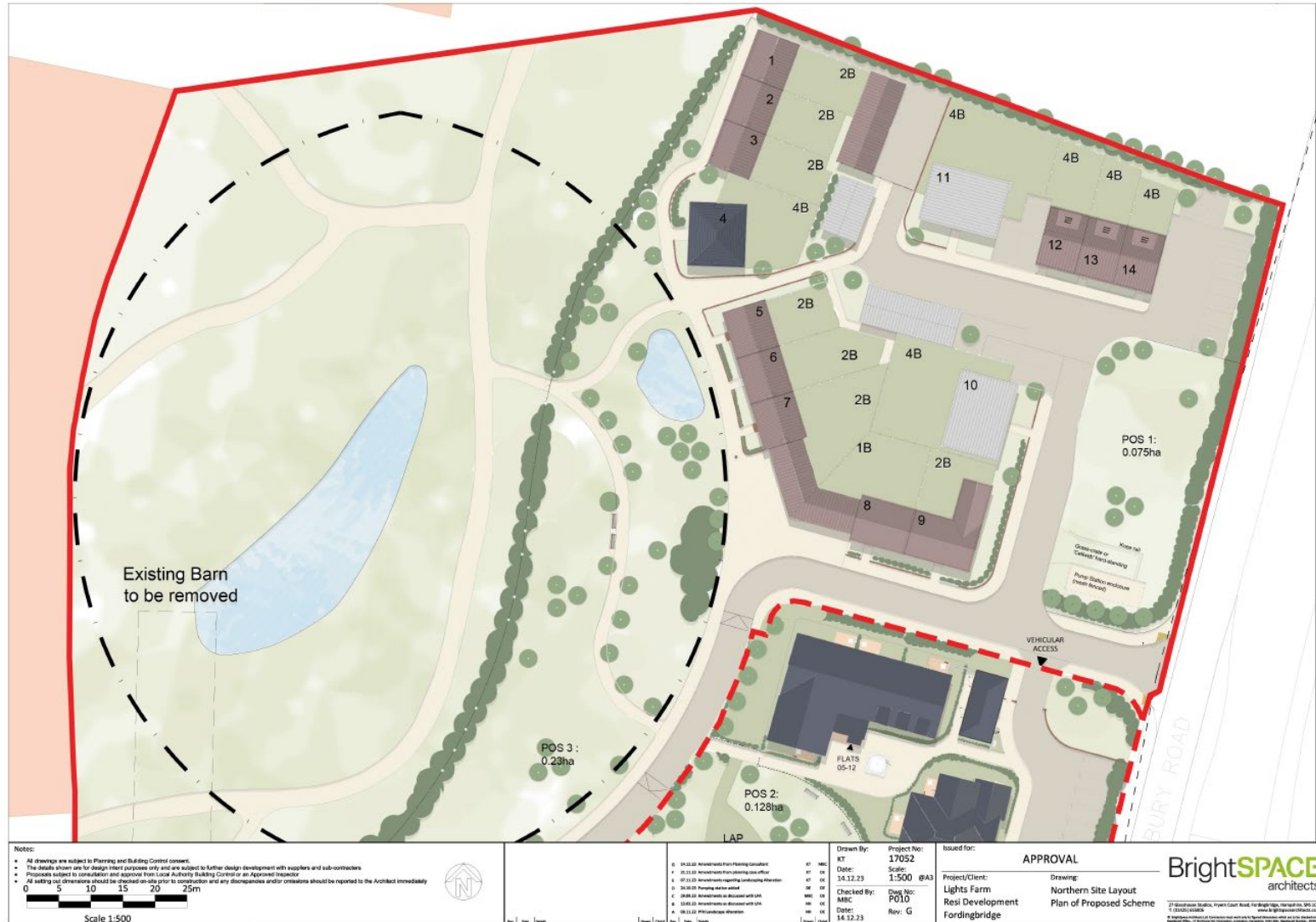
74



# Southern site layout



# Northern site layout



76

74

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# Photographs



North end of adjacent Fairgate Centre to proposal site.



View of the disused agricultural buildings from the access road to Burgate Farm, to the south of the site off of Salisbury Road.



Western view of existing site taken from footpath running alongside the site's southern boundary.



Vehicular entrance to the adjacent Fairgate Centre for Salisbury Road.



Existing entrance into site off the A338 which will remain the location of the proposed site entrance.



# Photographs



Greenhouses and food stores in the north of the site, with Middle Burgate beyond.



Disused barn on the left; the Fairgate Centre visible on the right.



Site is adjacent to the busy Salisbury Road. Middle Burgate House can be seen on the left hand side.



Disused agricultural buildings, with The Fairgate Centre visible on the left.



Disused 'Pole Barn' on the right Public footpath adjacent to southern boundary.



Existing entrance to the site from Salisbury Road.



Disused agricultural buildings and equipment in the south of the site.



Disused greenhouses and 'Middle Burgate' in centre.



The Fairgate Centre and its parking/ service yard, unaffected by the proposals.

# Site Layout Plan - Middle Burgate House

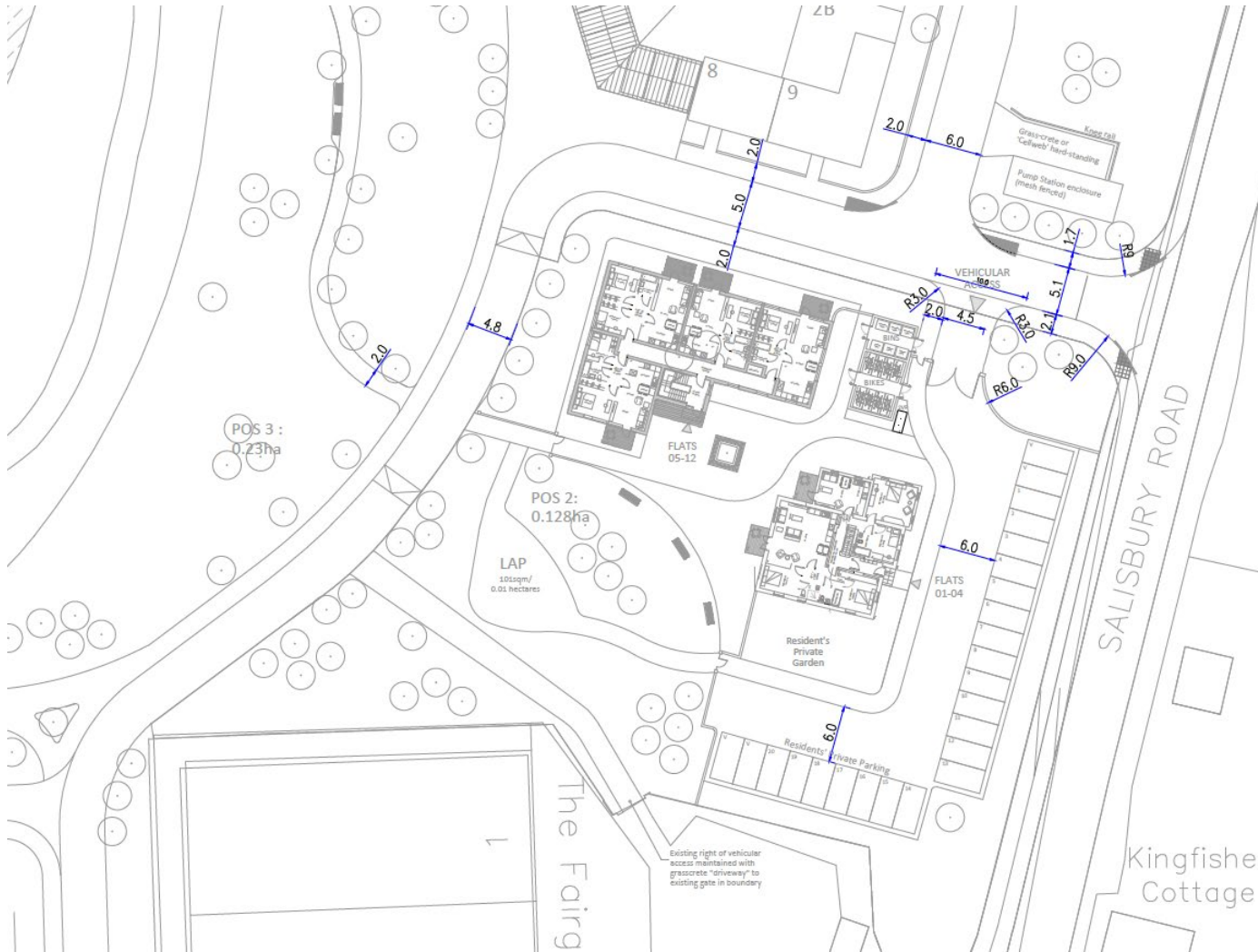


79



# Main access details and typical highway specification

80



# Affordable Housing

## Middle Burgate House and new flats block

( 12 units – 23% of total no. of units)

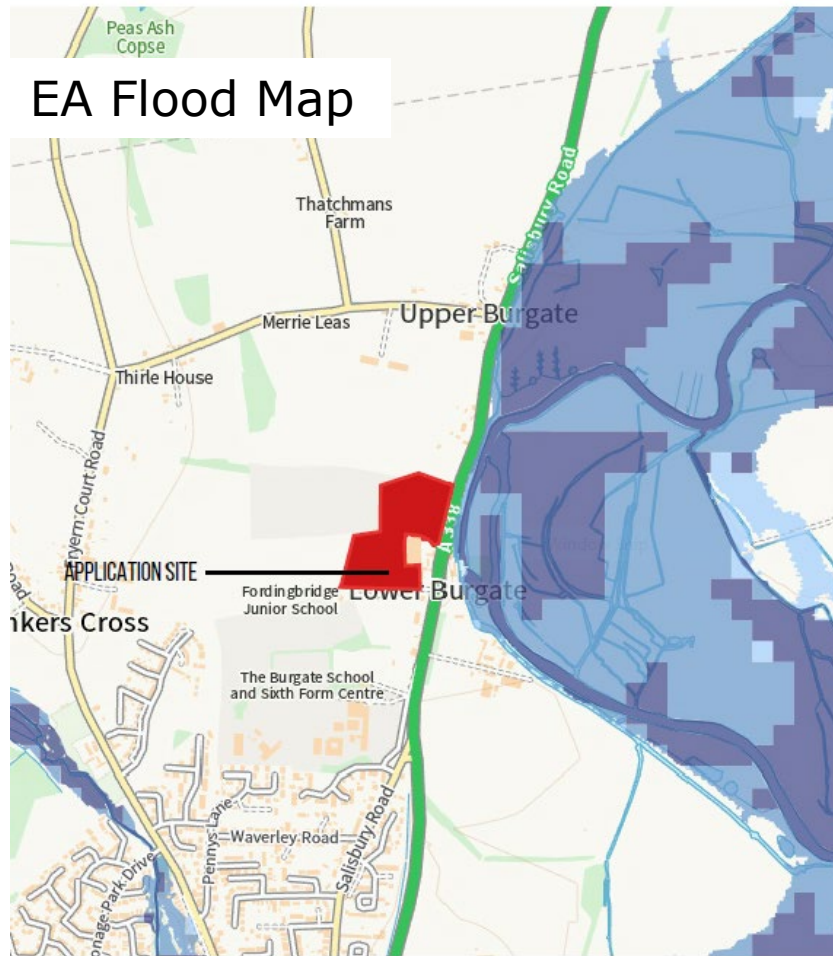
- 2 x 1 bed social rent in new flatted block
- 2 x 2 bed social rent in new flatted block
- 2 x 1 bed affordable rent in new flatted block
- 2 x 2 bed affordable rent in new flatted block
- 4 x 2 bed flats shared ownership in house



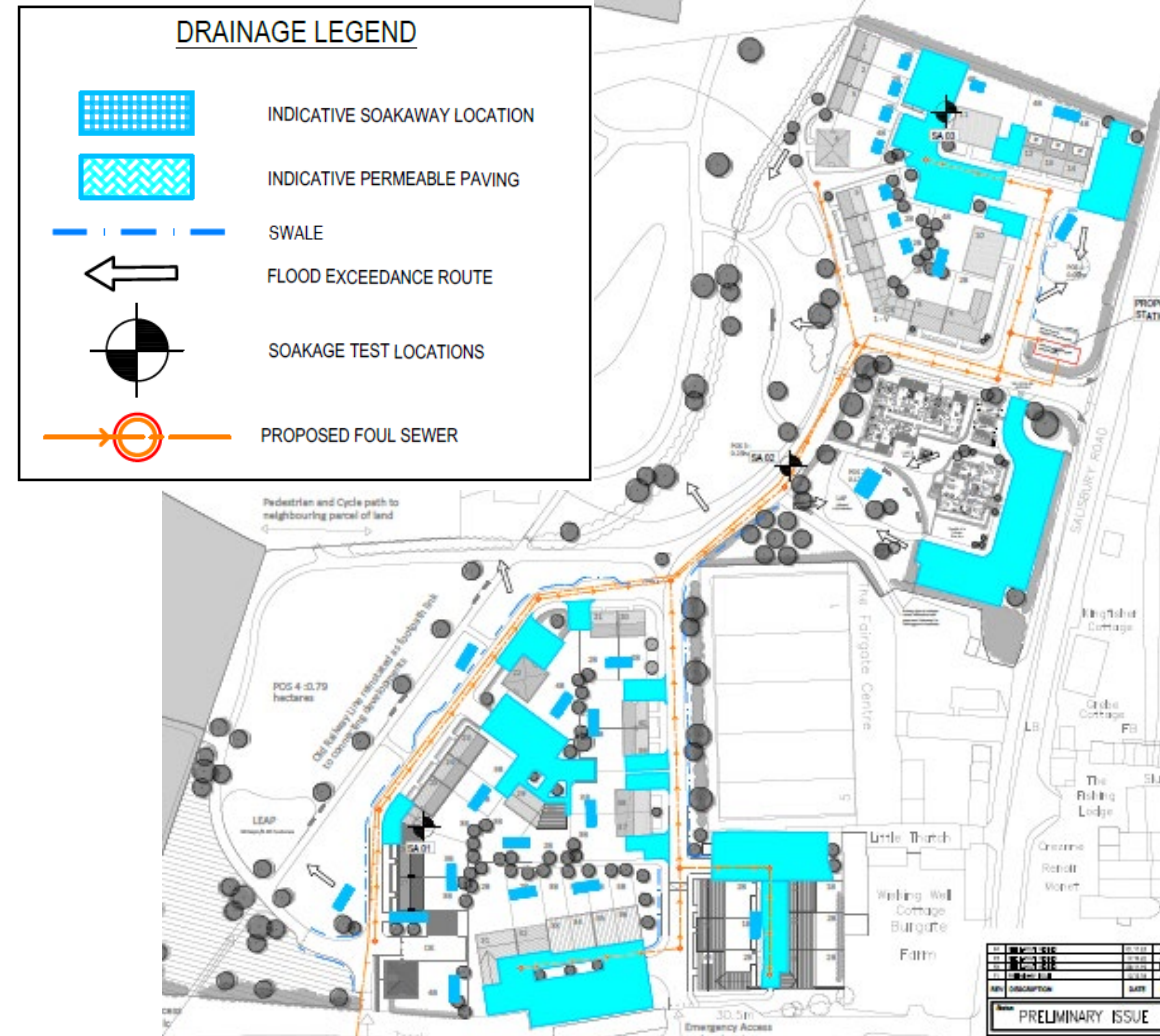


# Drainage strategy

82



80



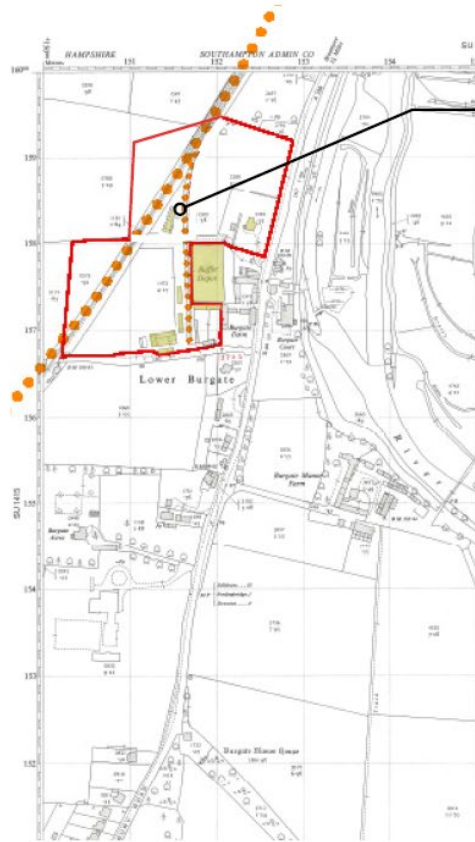
3c 22/11268

# Site History and evolution of proposed designs 1

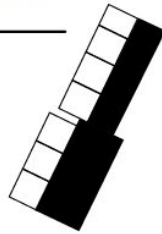
16

## SITE HISTORY- AGRICULTURAL & 'RAILWAY' CHARACTER

83



This group of buildings are likely to have been a 'railway terrace' of houses.



The photographs opposite illustrate the agricultural character of the buildings within the site, comprising barns (of various), piggery sheds, commercial polytunnels and commercial greenhouses, which reflect the site's former use. The Edwardian house, known as 'Middle Burgate', is a sizeable property, which is as a detached and somewhat isolated building within its generously sized grounds.



Agricultural buildings and Middle Burgate House within the site.





# Site History and evolution of proposed designs 2

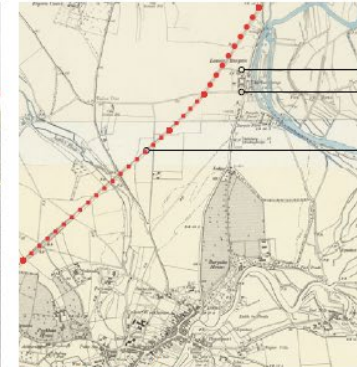


## 15 SITE HISTORY- 'MAFF DEPOT & RAILWAY LINE'

The existing former railway line that lies to the northwest of the town centre, and which connects to Middle Burgate and to Breamore to the north, has been a long-standing physical feature of the town centre and Lower Burgate. Before its decommissioning and removal, the rail line and its siding served the Ministry of Agriculture Fisheries and Food (MAFF) depot, the converted buildings of which are now the Fairgate business centre. Several hundred of these strategic food stores of buffer depots were built across the country by the MAFF during the Second World War to store supplies in case of food shortages. These food buffer depots were built in a range of styles and construction methods, but were typically 'agricultural' in their character and construction, such as brick, and corrugated metal sheeting; these depots would also typically be accompanied by other agricultural buildings within their compounds.

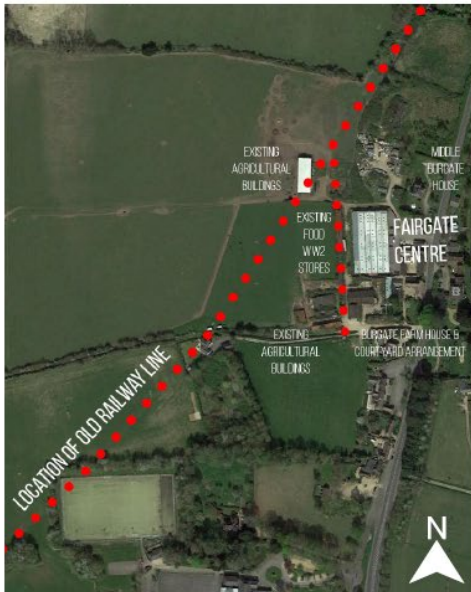


Former MAFF depot, now Fairgate centre (on the right).



Existing Railway line-1913.

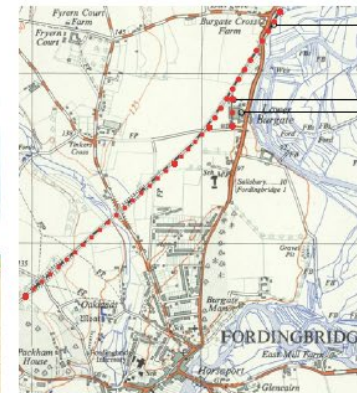
- Burgate Farm house Listed building
- Burgate Farm and agricultural buildings
- Decommissioned railway track



Site plan and existing buildings



Former MAFF buffer depot.



Existing Railway line-1961.

- Decommissioned railway track
- North to South Decommissioned railway siding
- Strategic food stores or buffer depots

# Middle Burgate House Existing Elevations

85



11 Existing Side (South Elevation)  
01 scale - 1:100

11 Existing Side (North Elevation)  
02 scale - 1:100

83

3c 22/11268



# Middle Burgate House Proposed Ground Floor Plans







## BLOCK 1 - GROUND FLOOR PLAN

APARTMENT 1 = 81.62m<sup>2</sup>  
 APARTMENT 2 = 61.95m<sup>2</sup>  
 COMMUNAL AREA = 13.60m<sup>2</sup>

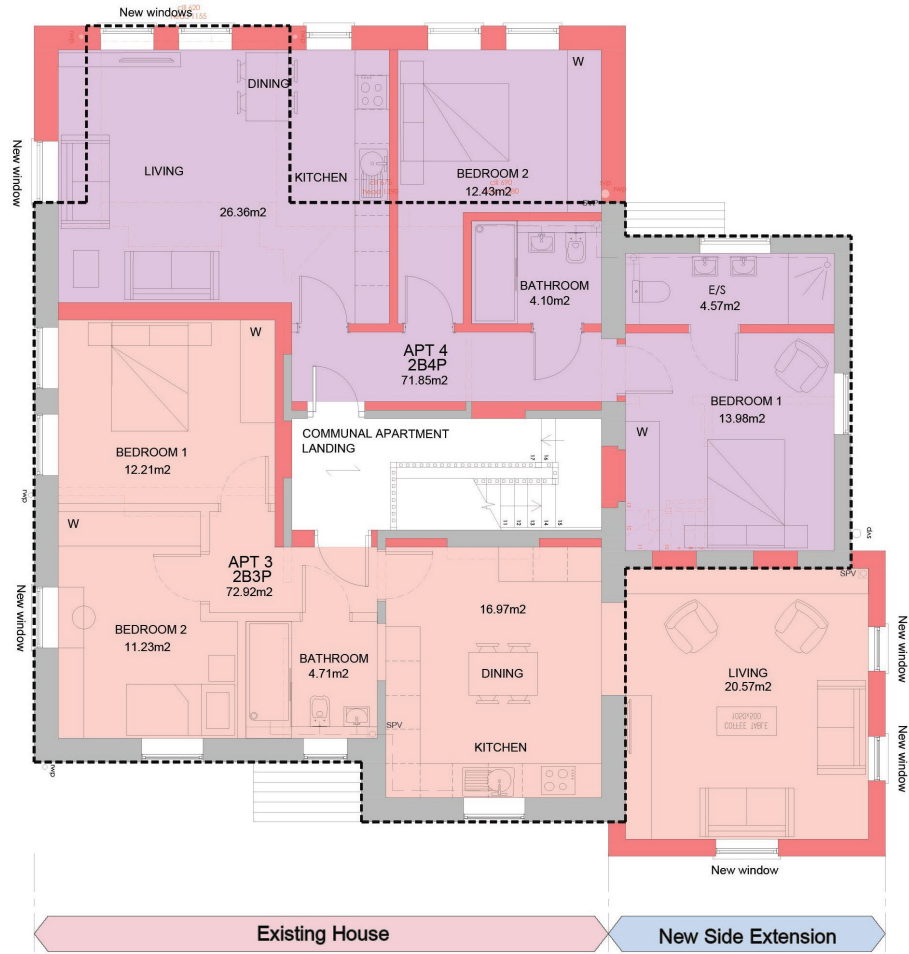
TOTAL GF GIA = 163.75m<sup>2</sup>

TOTAL GF GEA = 185.12m<sup>2</sup>

## PROPOSED PLANS

-  Walls to be removed
-  Existing building
-  Existing walls to be retained
-  Proposed walls

# Middle Burgate House First Floor Plans



## BLOCK 1 - FIRST FLOOR PLAN

APARTMENT 3 = 72.92m<sup>2</sup>  
 APARTMENT 4 = 71.85m<sup>2</sup>  
 COMMUNAL AREA = 10.60m<sup>2</sup>





TOTAL FF GIA = 163.38m<sup>2</sup>

TOTAL FF GEA = 185.12m<sup>2</sup>

TOTAL GIA = 304.00m<sup>2</sup>

TOTAL GEA = 346.85m<sup>2</sup>

## PROPOSED PLANS

-  Walls to be removed
-  Existing building
-  Existing walls to be retained
-  Proposed walls





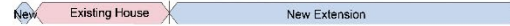
# Middle Burgate House Proposed Elevations



EAST ELEVATION



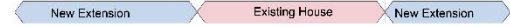
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



# New Flats Proposed Ground Floor Plan



69

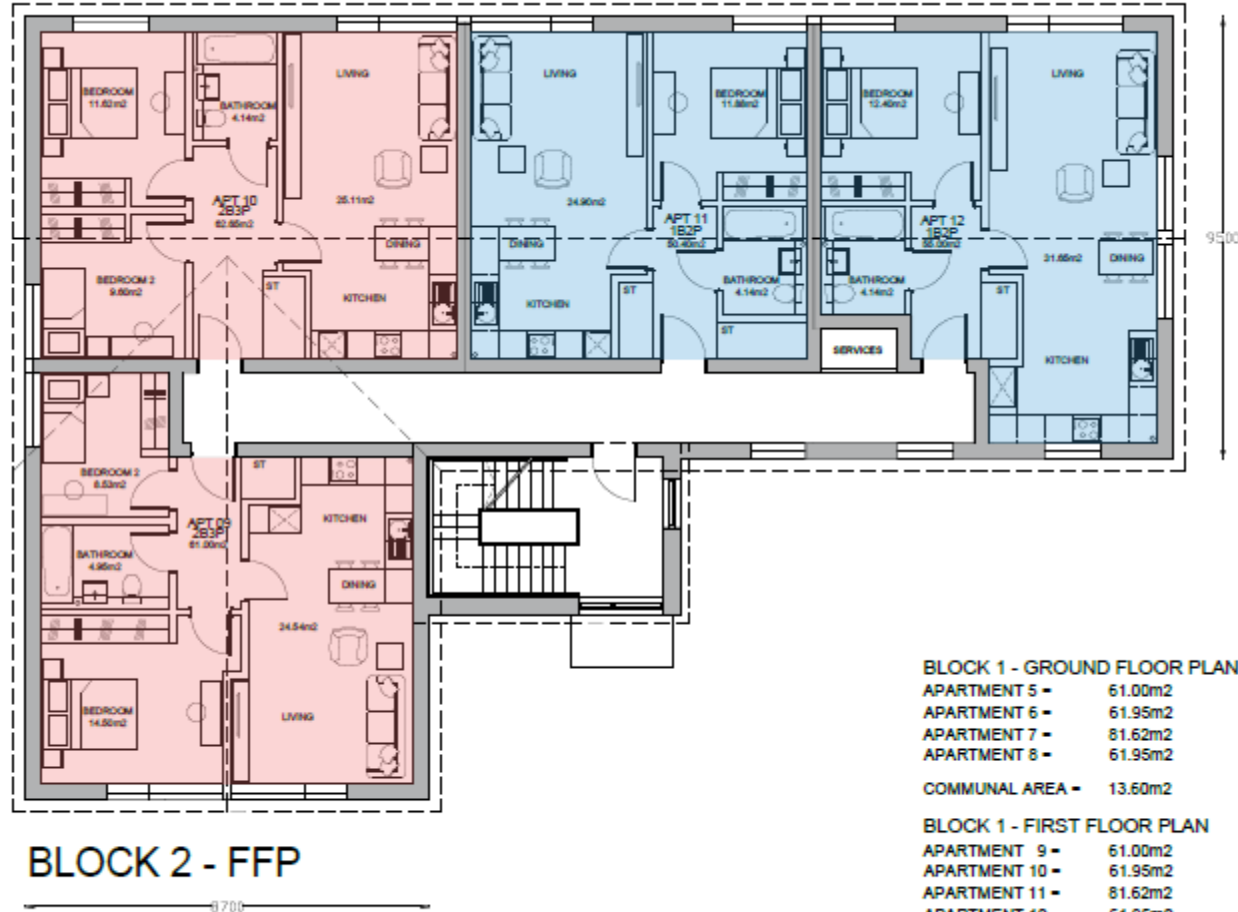




# New Flats Proposed First Floor Plan



06



**BLOCK 1 - GROUND FLOOR PLAN**

- APARTMENT 5 - 61.00m<sup>2</sup>
- APARTMENT 6 - 61.95m<sup>2</sup>
- APARTMENT 7 - 81.62m<sup>2</sup>
- APARTMENT 8 - 61.95m<sup>2</sup>

TOTAL GF GIA - 163.75m<sup>2</sup>

TOTAL GF GEA - 185.12m<sup>2</sup>

COMMUNAL AREA - 13.60m<sup>2</sup>

**BLOCK 1 - FIRST FLOOR PLAN**

- APARTMENT 9 - 61.00m<sup>2</sup>
- APARTMENT 10 - 61.95m<sup>2</sup>
- APARTMENT 11 - 81.62m<sup>2</sup>
- APARTMENT 12 - 61.95m<sup>2</sup>

TOTAL FF GIA - 163.75m<sup>2</sup>

TOTAL FF GEA - 185.12m<sup>2</sup>

COMMUNAL AREA - 13.60m<sup>2</sup>

GIA GF and FF - 286.88m<sup>2</sup> x 2 = 573.76m<sup>2</sup>

# New Flats Proposed Elevations



91



# Design Code and proposed new dwellings 1



## 7 BUILDING TYPOLOGIES

### RAILWAY TERRACE TYPOLOGY - 2 BED

#### TRADITIONAL



- 1 Gable ended pitched roofs @ 40-42° in slate or artificial slate.
- 2 Brick chimney stacks at gable ends and party wall.
- 3 Deep projecting barge boards.
- 4 Centre front doors with pitched roof porches/canopies over brick cheek walls.
- 5 Front facades to have greater solid-to-wall ratios. Front facades to be symmetrical.
- 6 Front gardens to have enclosure of low level walls with half round coping bricks and hedging or galvanised railings.
- 7 Any solar heating or PV panels to be recessed flush with slates.
- 8 Rear facades to have greater window-to-wall ratios with glazed doors set into larger timber panels
- 9 Rear garden enclosures not all close boarded fence; hedges used where appropriate.
- 10 Eaves, R.W. goods, barge boards etc in 'crisp' P.P.C. metal pressing.
- 11 Windows and glazed doors in P.P.C. aluminium windows generally casement and modular framing (opening and fixed appear the same).
- 12 Solid timber front door.



#### CONTEMPORARY



- 1 Sinusoidal (corrugated) P.P.C. metal cladding on roof and walls.
- 2 Minimal/clean arris details.
- 3 Chimneys in galvanised or P.P.C. steel with cowls.
- 4 Asymmetrical window subdivision of fixed and opening lights.
- 5 Pitched entrance canopy roof with no supports.
- 6 Brick plinth.
- 7 Front gardens to have enclosure of low level walls with half round coping bricks and hedging or galvanised railings.
- 8 Solid timber front door.
- 9 Rear facades with larger window openings as per traditional version.
- 10 Brick plinths expanded upwards around larger glazed openings.
- 11 Rear garden enclosures not all close boarded fence; hedges used where appropriate.



# Design Code and proposed new dwellings 2

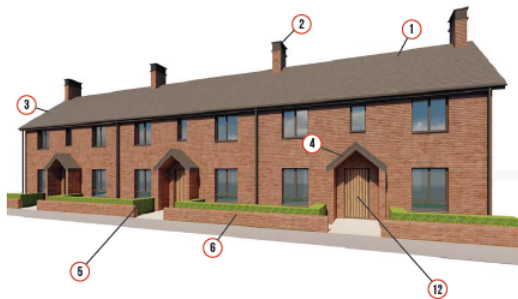


9

## BUILDING TYPOLOGIES

### RAILWAY TERRACE TYPOLOGY - 3 BED

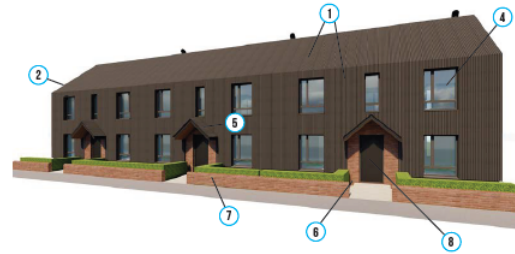
#### TRADITIONAL



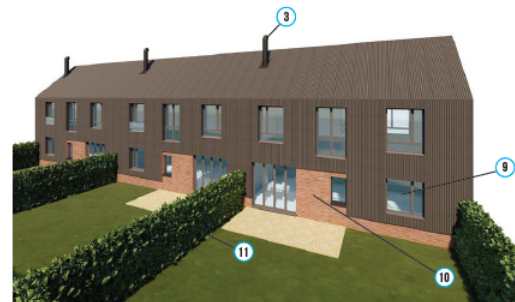
- 1 Gable ended pitched roofs @ 40-42° in slate or artificial slate.
- 2 Brick chimney stacks at gable ends and party wall.
- 3 Deep projecting barge boards.
- 4 Centre front doors with pitched roof porches/canopies over brick cheek walls.
- 5 Front facades to have greater solid-to-wall ratios. Front facades to be symmetrical.
- 6 Front gardens to have enclosure of low level walls with half round coping bricks and hedging or galvanised railings.
- 7 Any solar heating or PV panels to be recessed flush with slates.
- 8 Rear facades to have greater window-to-wall ratios with glazed doors set into larger timber panels
- 9 Rear garden enclosures not all close boarded fence; hedges used where appropriate.
- 10 Eaves, R.W. goods, barge boards etc in 'crisp' P.P.C. metal pressing.
- 11 Windows and glazed doors in P.P.C. aluminium windows generally casement and modular framing (opening and fixed appear the same).
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#### CONTEMPORARY



- 1 Sinusoidal (corrugated) P.P.C. metal cladding on roof and walls.
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- 6 Brick plinth.
- 7 Front gardens to have enclosure of low level walls with half round coping bricks and hedging or galvanised railings.
- 8 Solid timber front door.
- 9 Rear facades with larger window openings as per traditional version.
- 10 Brick plinths expanded upwards around larger glazed openings.
- 11 Rear garden enclosures not all close boarded fence; hedges used where appropriate.



# Design Code and proposed new dwellings 3



## 11 BUILDING TYPOLOGIES

### DUTCH BARN TYPOLOGY - 3 BED

#### TIMBER CLADDING



- ① Ground floor wall in cream or off-white render.
- ② Recessed galvanised pressed steel 'waistband' around whole terrace.
- ③ First floor clad in Siberian larch or similar timber in self-finish.
- ④ Minimal barge board/eaves detail at cable ends.
- ⑤ Barrel roof in corrugated P.P.C. cladding.
- ⑥ Larger rear facade windows to meet at metal 'waist band'.
- ⑦ Entrance doors to be 'lost' within larger 2 storey opening.
- ⑧ R.W. goods in galvanised or P.P.C. aluminium to match other metal pressings.
- ⑨ Rear garden enclosed to compliment facade materials.



#### STEEL CLADDING



- ① Ground floor wall in cream or off-white render.
- ② Recessed galvanised pressed steel 'waistband' around whole terrace.
- ③ First floor and roof in profile (corrugated) P.P.C. steel, in dark grey or 'red oxide' red.
- ④ Entrance door with larger opening in timber cladding.
- ⑤ Rear garden enclosed to compliment facade materials.
- ⑥ Larger rear facade windows to meet at metal 'waist band'.
- ⑦ R.W. goods in galvanised or P.P.C. aluminium to match other metal pressings.





# Design Code and proposed new dwellings 4

## 13 BUILDING TYPOLOGIES

### DUTCH BARN TYPOLOGY - 4 BED

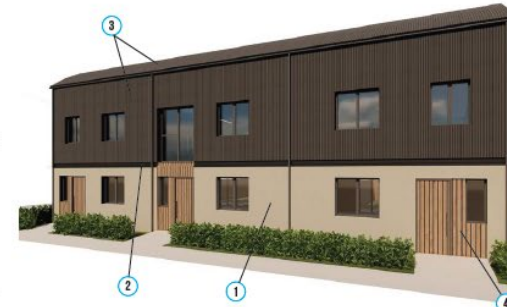
#### TIMBER CLADDING



- 1 Ground floor wall in cream or off-white render.
- 2 Recessed galvanised pressed steel 'waistband' around whole terrace.
- 3 First floor clad in Siberian larch or similar timber in self-finish.
- 4 Minimal barge board/eaves detail at cable ends.
- 5 Barrel roof in corrugated P.P.C. cladding.
- 6 Fully recessed roof terrace within roof profile.
- 7 Entrance doors to be 'lost' within opening.
- 8 R.W. goods in galvanised or P.P.C. aluminium to match other metal pressings.
- 9 Larger rear facade windows to meet at metal 'waist band'.
- 10 Rear garden enclosed to compliment facade materials.



#### STEEL CLADDING



- 1 Ground floor wall in cream or off-white render.
- 2 Recessed galvanised pressed steel 'waistband' around whole terrace.
- 3 First floor and roof in profile (corrugated) P.P.C. steel, in dark grey or 'red oxide' red.
- 4 Entrance door with larger opening in timber cladding.
- 5 Rear garden enclosed to compliment facade materials.
- 6 Larger rear facade windows to meet at metal 'waist band'.
- 7 Fully recessed roof terrace within roof profile.



# Design Code and proposed new dwellings 5

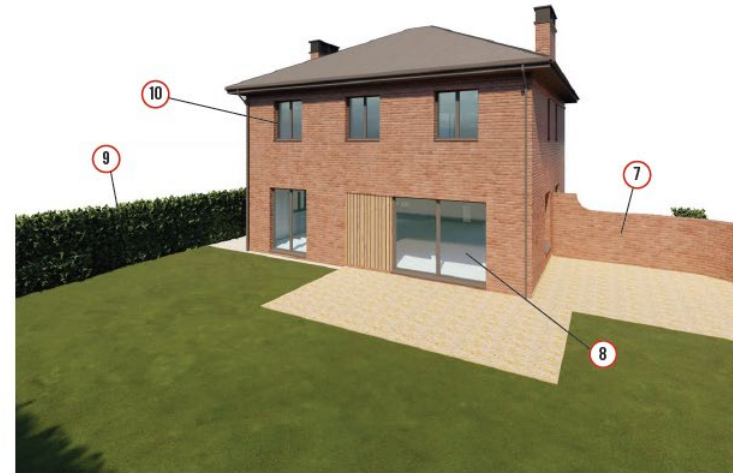
## 15 BUILDING TYPOLOGIES

### FARM HOUSE TYPOLOGY

#### TRADITIONAL



- ① Hipped pitched roof at 30-35 degrees in natural or artificial slate.
- ② Deep projecting eaves over projecting brick courses and window heads. Eaves, RW goods etc, in 'crisp' P.P.C metal pressings.
- ③ Symmetrical front facades in red brick. Centred on central front door.
- ④ Exposed entrance porch with shallow pitched lead or zinc roof over trellis supports.
- ⑤ Ground floor windows larger and deeper than first floor windows.



- ⑥ Tall and wide brick chimney stacks on side walls, ideally with window either side at first floor level.
- ⑦ Garden walls attached to house with heights dropping away from the house.
- ⑧ Larger, asymmetrical ground floor openings to living - dining rooms, inset to larger apparent opening with timber side panels.
- ⑨ Rear garden boundaries in hedges where appropriate to minimise extend of close-boarded fencing.
- ⑩ Windows and glazed doors in P.P.C. aluminium. Windows generally casements and module framing (opening and fixed heights appear the same).

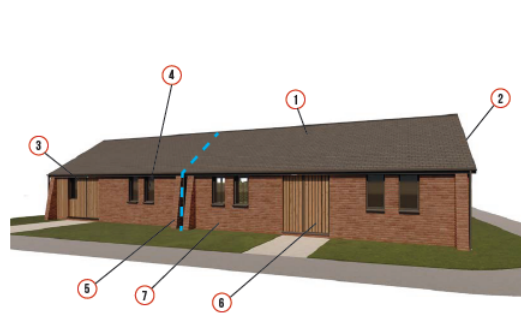
# Design Code and proposed new dwellings 6



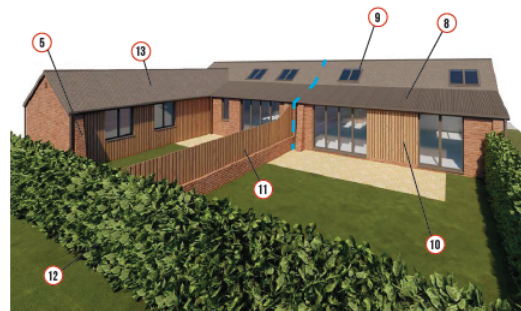
## 17 BUILDING TYPOLOGIES

### FARM STYLE BUNGALOW TYPOLOGY

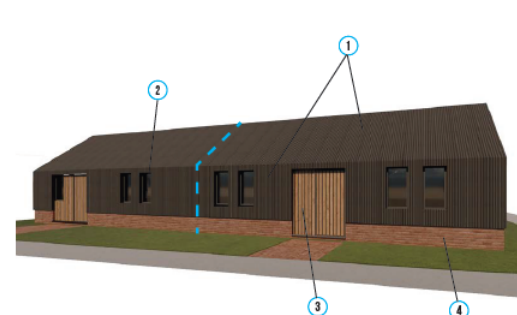
#### TRADITIONAL



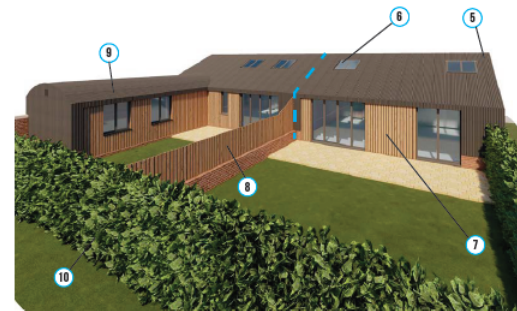
- 1 Medium pitched roofs in natural or artificial slate with red/brown clay ridge tiles.
- 2 Strong gable ends.
- 3 RW goods, eaves and barge boards in P.P.C. aluminium forming 'crisp' details.
- 4 Outward facing facades in red brick with smaller windows and greater ratio of 'solid-to-window'.
- 5 Brick buttresses at corners and party walls.
- 6 Entrance on outward facing walls incorporated in larger apparent openings in timber.
- 7 Outward facing bays in timber.
- 8 Shallower inner roof in corrugated metal sheeting.
- 9 Roof lights set into roof slopes.
- 10 Inner facades with larger windows set within timber panels.
- 11 Boundary treatment in brick, closed boarded fence and hedging.
- 12 Use of hedged boundaries to minimise use of close boarded fencing.
- 13 'L' wing subservient to main/larger wing.



#### CONTEMPORARY



- 1 Roof, walls and gables in P.P.C. corrugated metal sheeting with minimal details at interfaces.
- 2 Outer facing facades with smaller windows and greater solid walls.
- 3 Entrances on outward facing walls set within larger apparent openings finished in timber.
- 4 Plinth in red brick under metal cladding above.
- 5 Wider wing with asymmetrical roof.
- 6 Rooflights set into roof slope.
- 7 Inner facades with larger windows set within timber panels.
- 8 Boundary treatment in brick and closed boarded fence.
- 9 Subsequently smaller wing potentially having curved roof form.
- 10 Use of hedged boundaries to minimise use of close boarded fencing.

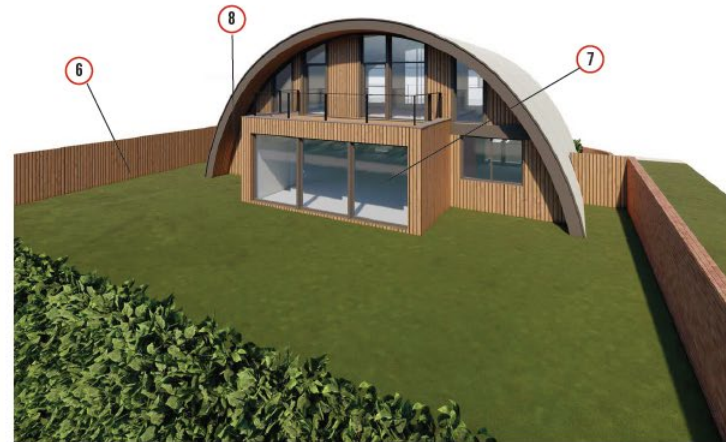




# Design Code and proposed new dwellings 7

## 19 BUILDING TYPOLOGIES

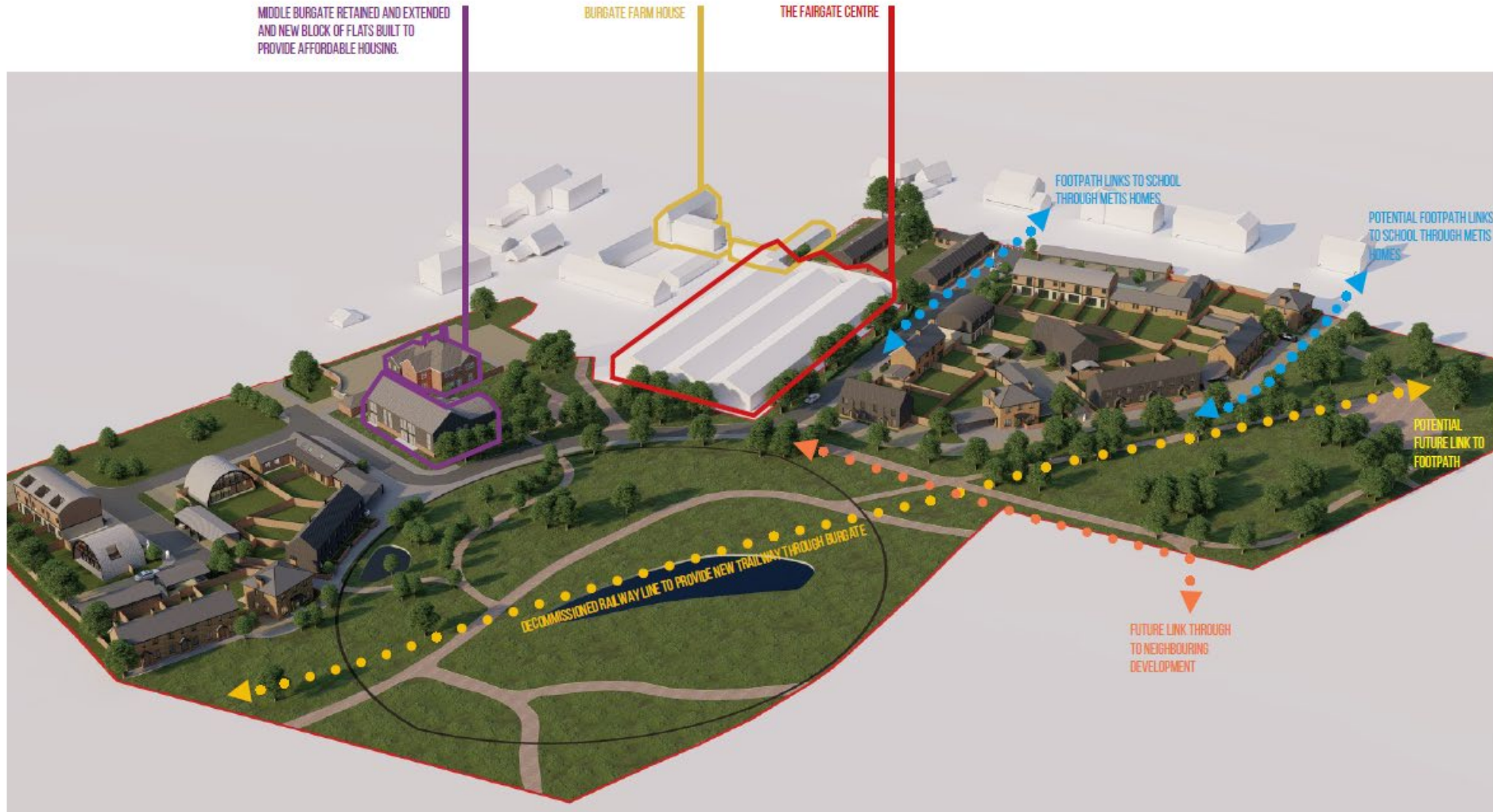
### POLY TUNNEL TYPOLOGY



- ① Arch roof form creating front facade
- ② Strong gable ends.
- ③ Barrel roof in corrugated P.P.C. cladding.
- ④ RW goods, eaves and barge boards in P.P.C. aluminium forming 'crisp' details.

- ⑤ Recessed balcony at first floor.
- ⑥ Boundary treatment in brick, closed boarded fence and hedging.
- ⑦ Curtain wall effect glazing on front and rear elevation with timber panels.
- ⑧ Inner edge of arch clad with timber.

# Artist impressions and perspectives 1



ANNOTATED AERIAL PERSPECTIVE



# Artist impressions and perspectives 2



AERIAL PERSPECTIVE OF SOUTHERN RESIDENTIAL SCHEME

100

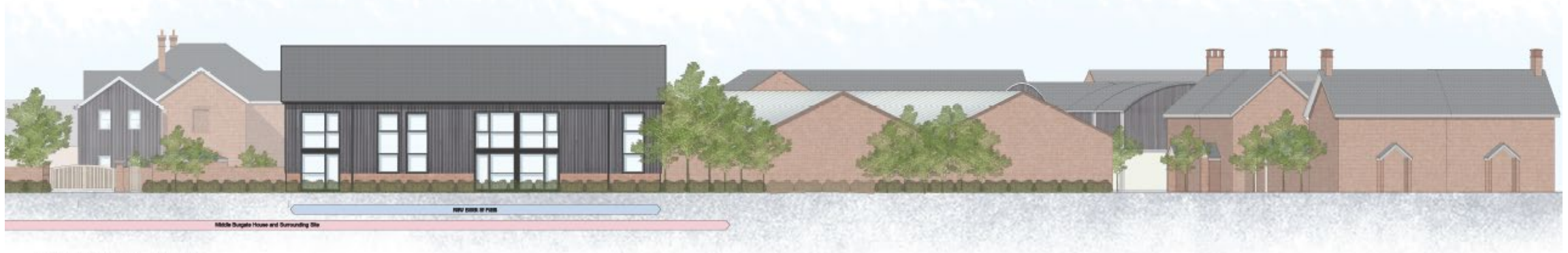


# Street Scene 1



STREETSCENE 01 - PART A

101



STREETSCENE 01 - PART B

# Street Scene 2



STREETSCENE 02 - PART A

New Block of Flats

102



STREETSCENE 02 - PART B

New Block of Flats

Middle Bungalow House and Surrounding Site

# Proposed site sections



103  
SITE SECTION AA



SITE SECTION BB





# Artist impressions and perspectives 3

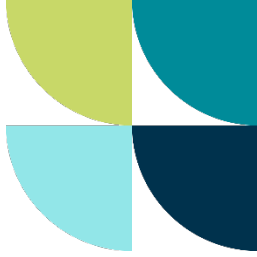


104



102

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# Recommendation

- The principle of development is agreed with the Local Plan allocation
- There are no statutory consultee objections
- The site delivers 53 new dwellings (12 affordable)
- Significant areas of new public open space and play areas
- High quality new buildings creating a sense of place
- Concerns raised by Town Council and local objectors carefully considered but the planning balance here is one of approval

**The Recommendation is for approval subject to a S106 agreement and planning conditions**

End of 3c 22/11268 presentation



# New Forest

DISTRICT COUNCIL

106





# Planning Committee

## App No 23/10926

Croquets

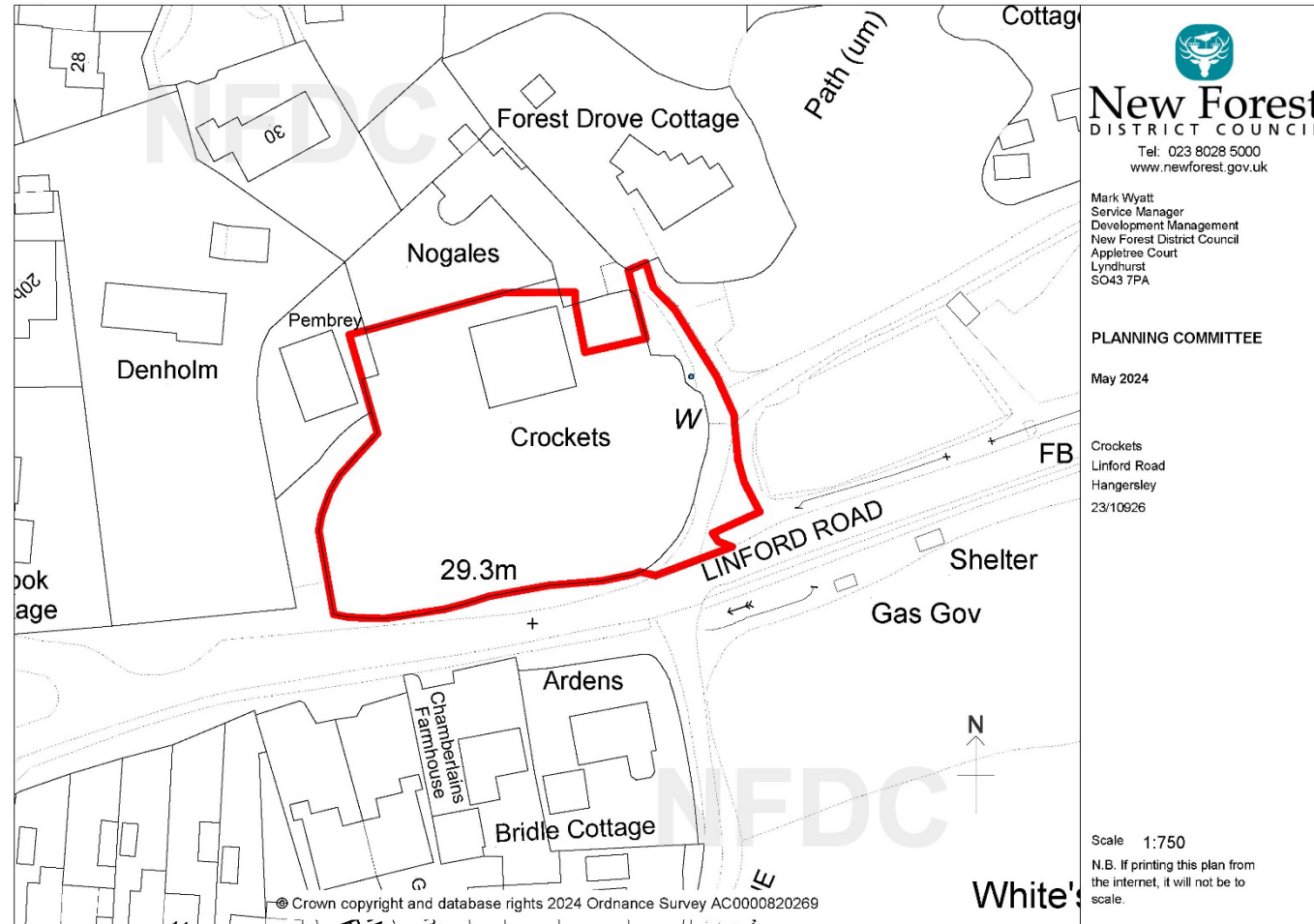
Linford Road

Ringwood

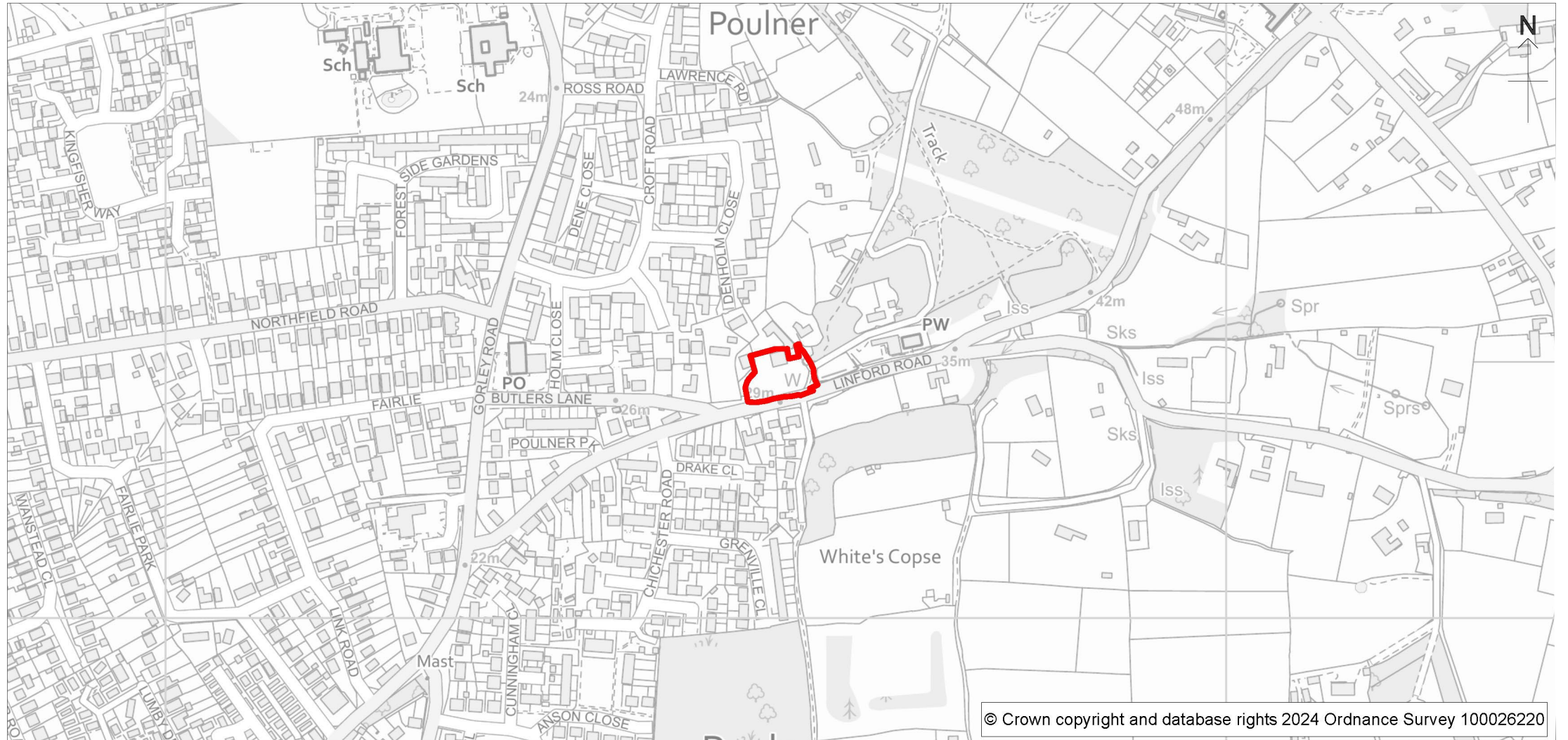
**Schedule 3d**

# Red Line Plan

108



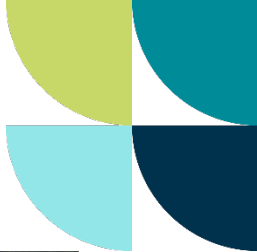
# Local context



109



# Aerial photograph



110



© Getmapping Plc and Bluesky International Limited 2024

# Existing site plan



111

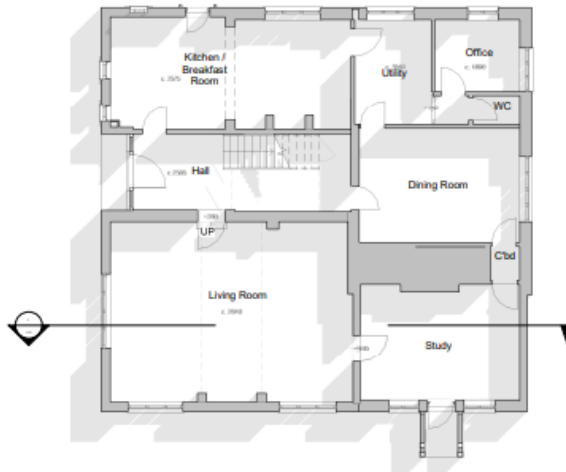




# Exiting house



Croquets - First Floor Plan as Existing  
1:100



Croquets - Ground Floor Plan as Existing  
1:100



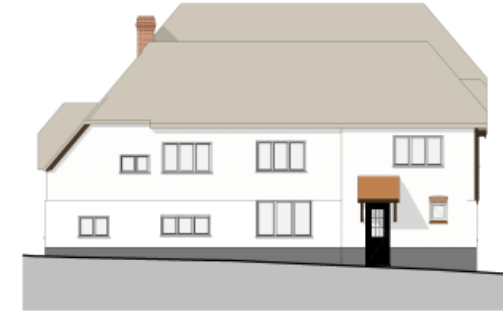
Croquets - South Elevation as Existing  
1:100



Croquets - West Elevation as Existing  
1:100



Croquets - East Elevation as Existing  
1:100



Croquets - North Elevation as Existing  
1:100



**crafted**  
architects

Project Name	CROQUETS
Address	LINFORD ROAD RINGWOOD BH24 1TY
Date	Sept 2022
Scale	1:100 (E&A)
Drawn By	1874



# Proposed site plan



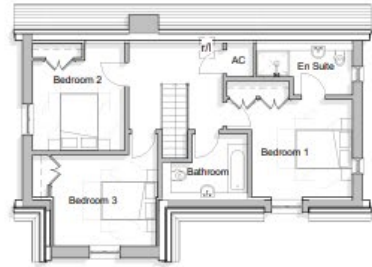
113



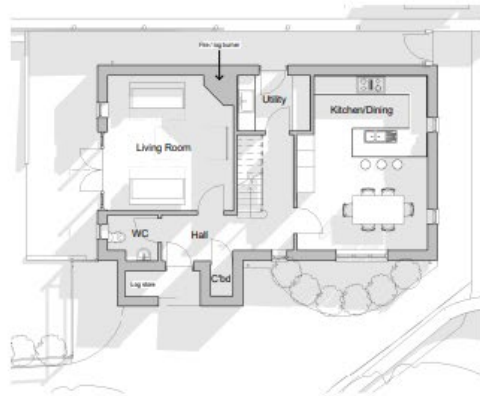
111

3d 23/10926

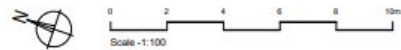
# House 1



House 1 - First Floor Plan  
1:100



House 1 - Ground Floor Plan  
1:100



House 1 - North Elevation  
1:100



House 1 - West Elevation  
1:100



House 1 - South Elevation  
1:100



House 1 - East Elevation  
1:100

**crafter**  
**architects**

Client Name	Address

CRICKETS  
LIMFORD ROAD  
BENGWOOD BH24 1TY

Mr M. and Mrs E. Richards

House 1 - Floor Plans & Elevations on  
11/20/2017

114

# House 2 (Crocketts)

115



House 2 (Crocketts) - South Elevation as Proposed  
1 : 100



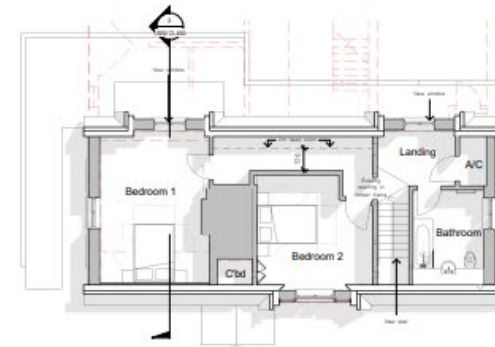
House 2 (Crocketts) - East Elevation as Proposed  
1 : 100



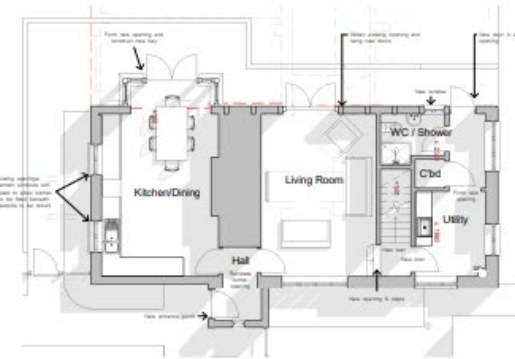
House 2 (Crocketts) - West Elevation as Proposed  
1 : 100



House 2 (Crocketts) - North Elevation as Proposed  
1 : 100



House 2 (Crocketts) - First Floor Plan as Proposed  
1 : 100



House 2 (Crocketts) - Ground Floor Plan as Proposed  
1 : 100

**crafte**  
**archite**






# House 3



House 3 - East Elevation as Proposed  
1 : 100



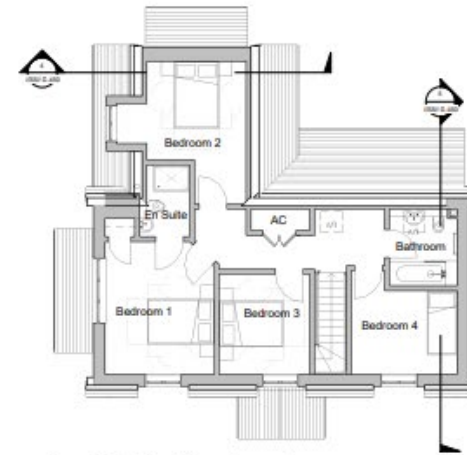
House 3 - South Elevation as Proposed  
1 : 100



House 3 - North Elevation as Proposed  
1 : 100



House 3 - West Elevation as Proposed  
1 : 100



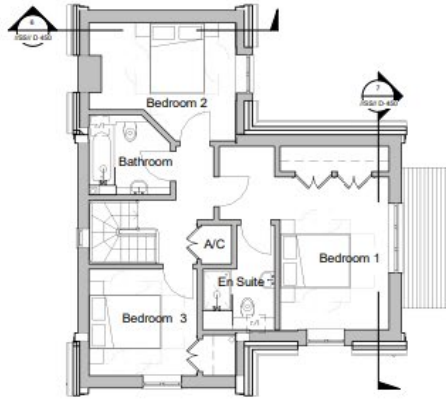
House 3 - First Floor Plan as Proposed  
1 : 100



House 3 - Ground Floor Plan as Proposed  
1 : 100



# House 4



House 4 - First Floor Plan as Proposed  
1 : 100



House 4 - West Elevation as Proposed  
1 : 100



House 4 - South Elevation as Proposed  
1 : 100



House 4 - Ground Floor Plan as Proposed  
1 : 100



House 4 - East Elevation  
1 : 100



House 4 - North Elevation as Proposed  
1 : 100

117

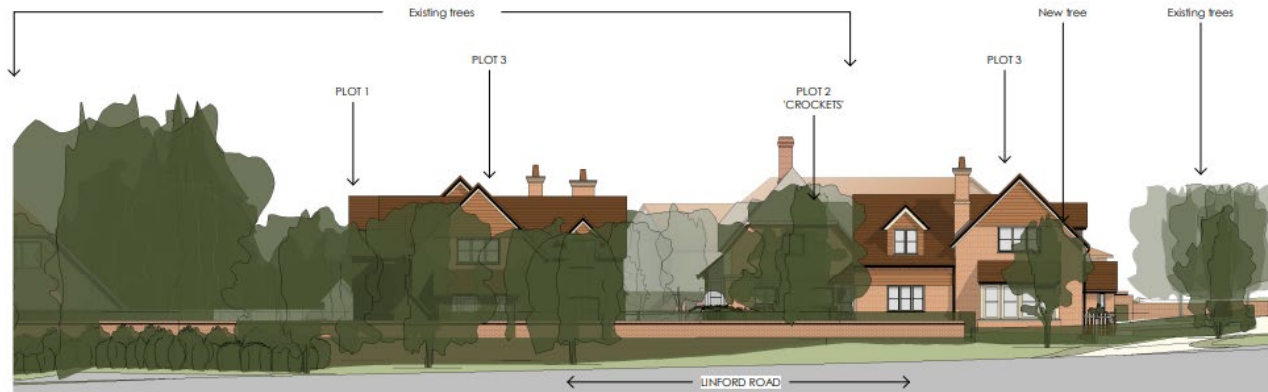
# Proposed street scene & aerial view



118



Aerial View from South West



Street Scene  
1 : 200

Rev	Description
A	House 3 design revised
B	Hedges added, roadside boundary wall retained
C	Scheme revised
D	Plots 3 & 4 house and parking repositioned
E	Plots 1 & 4 raised by approx. 0.25m

project CROCKETS  
 LINFORD ROAD  
 RINGWOOD BH24 1TY  
 client Mr M. and Mrs E. Ricksdale  
 drawing Street Scene & Aerial View from





# Existing dwelling – eastern elevation



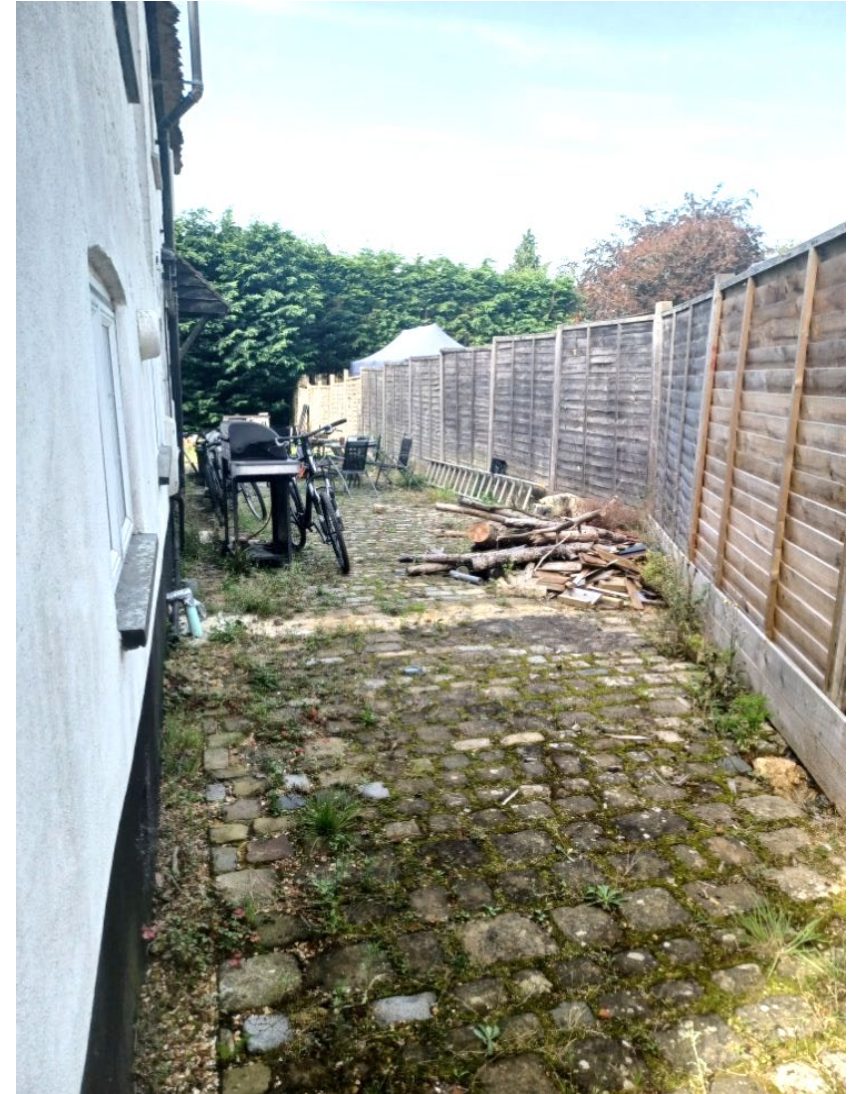
119



# Existing dwelling – north elevation & boundary



120





# Existing dwelling – southern elevation





# Existing dwelling - western elevation



122





# Front boundary



123



121

3d 23/10926



# Existing accesses



124



122

3d 23/10926



# Front garden



123

3d 23/10926



# Front garden

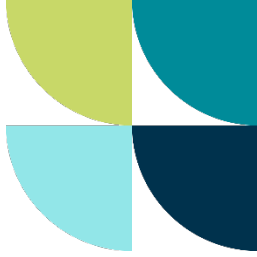


126



124

3d 23/10926



# Recommendation

- The proposal includes demolition of part of the existing dwelling which has benefits for the level of privacy at Nogales and the historic core of the 17th century farmhouse
- The provision of three additional dwellings has addressed previous concerns in respect of residential amenity, tree protection/retention, ecology and overdevelopment/layout
- Approval is recommended subject to the completion of a S.106 Legal Agreement

127



End of 3d 23/10926 presentation



# New Forest

DISTRICT COUNCIL

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# Planning Committee

## App No 23/10454

3 Priestlands Place,

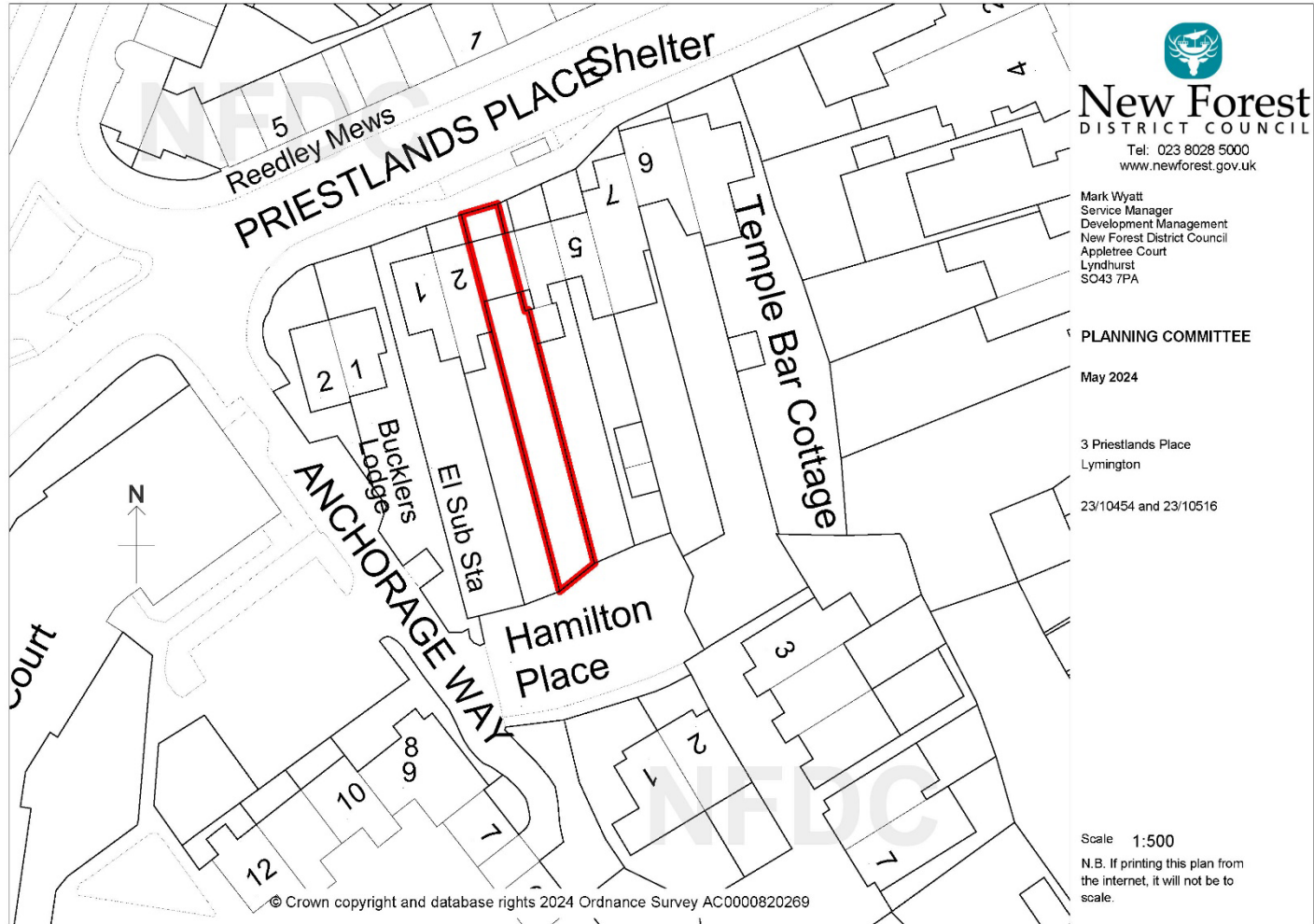
Lymington

SO41 9GA

**Schedule 3e**



# Red Line Plan



130

# Local context



131



# Aerial photograph



132

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130

3e 23/10454



# Site photographs

View to west



Application site



View to east



View to south



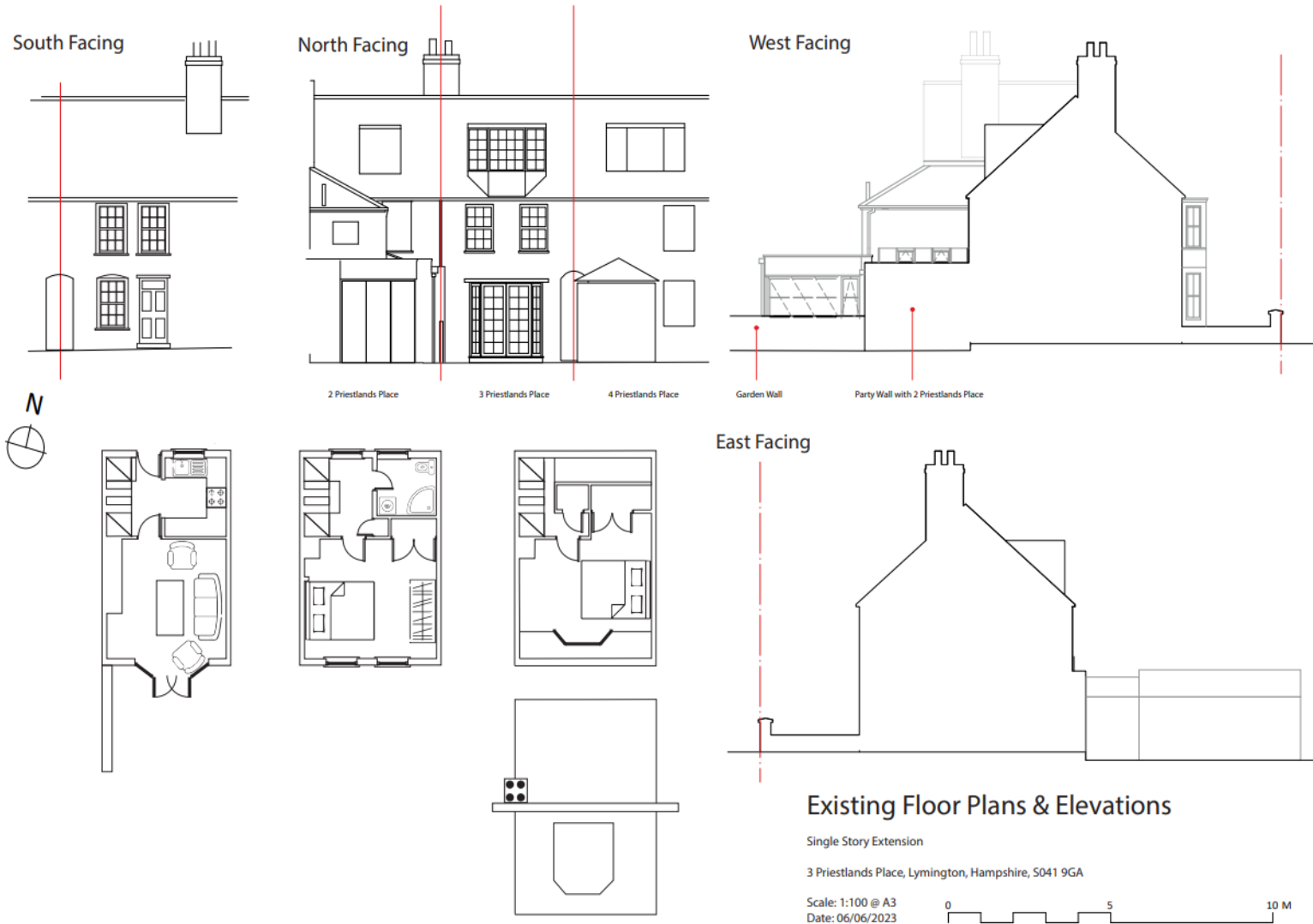
Access



View over neighbouring gardens



# Existing plans

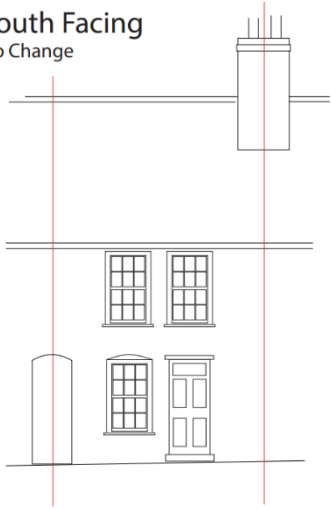


# Proposed elevations

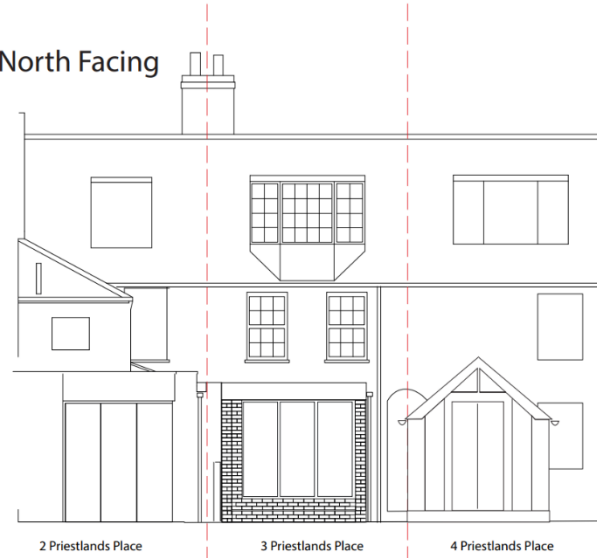


135

South Facing  
No Change



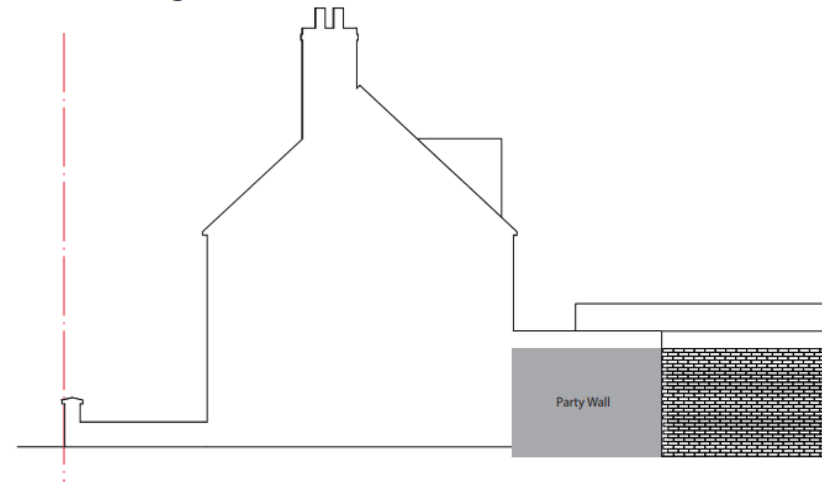
North Facing



West Facing



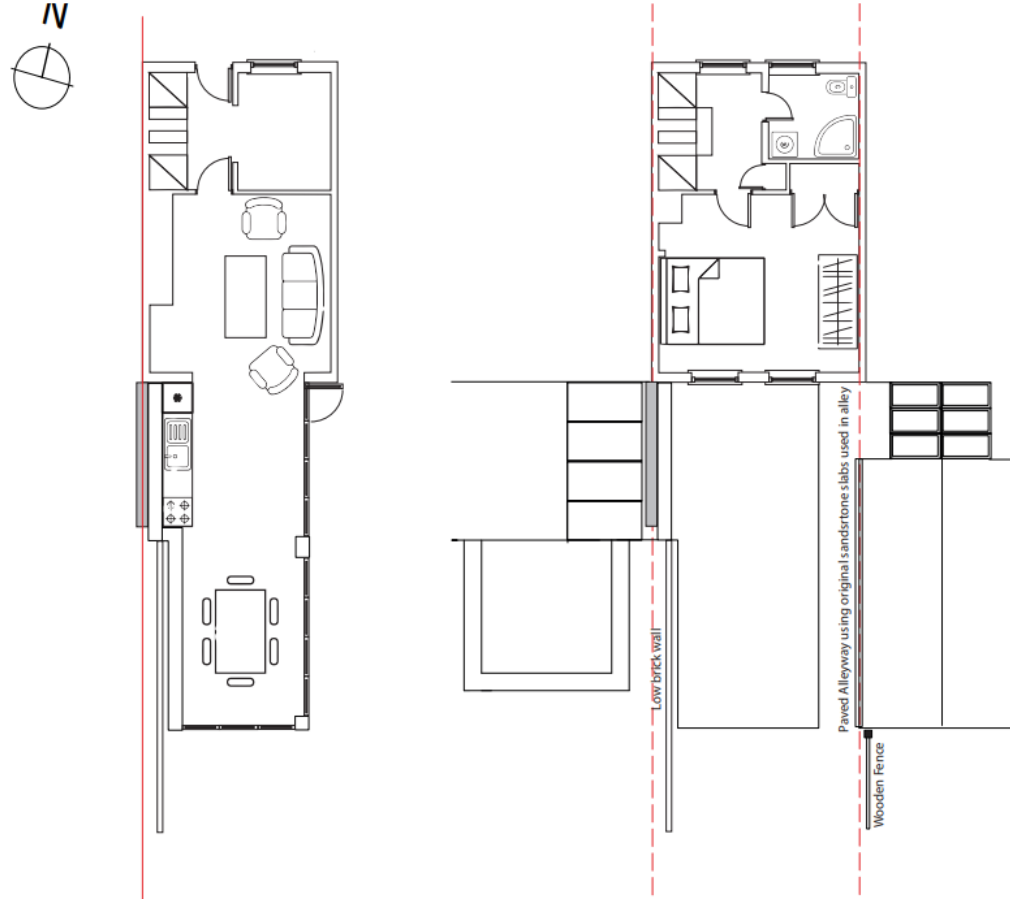
East Facing





# Proposed floor plan

136



134

3e 23/10454





# Recommendation

- For the reasons laid out in the report, it is recommended that the application be conditionally approved



End of 3e 23/10454 presentation



# New Forest

DISTRICT COUNCIL

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# Planning Committee

## App No 23/10516

3 Priestlands Place,

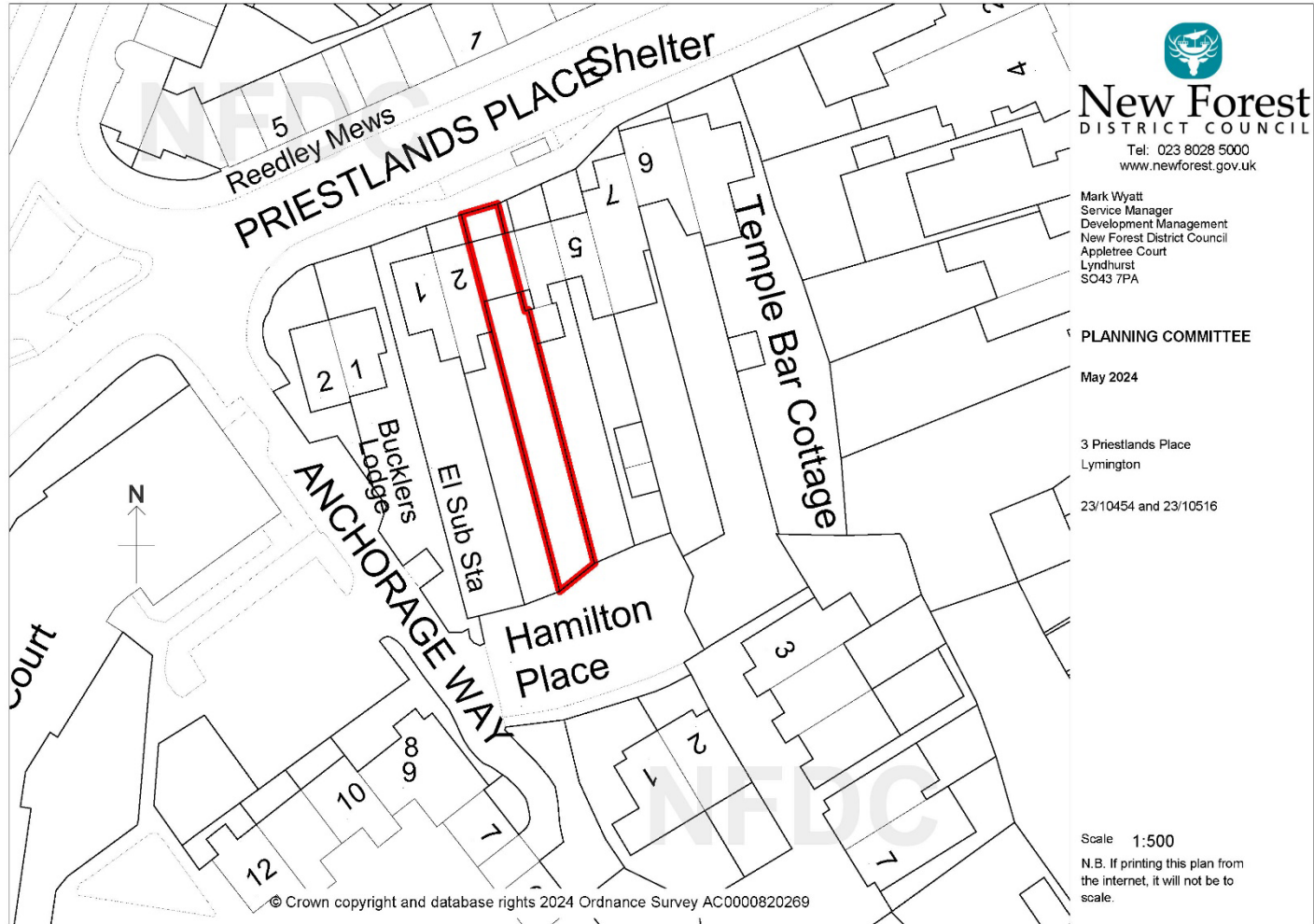
Lymington

SO41 9GA

**Schedule 3f**



# Red Line Plan



140

# Local context



141



# Aerial photograph



142

140

3f 23/10516



# Site photographs

View to west



Application site



View to east



View to south



Access



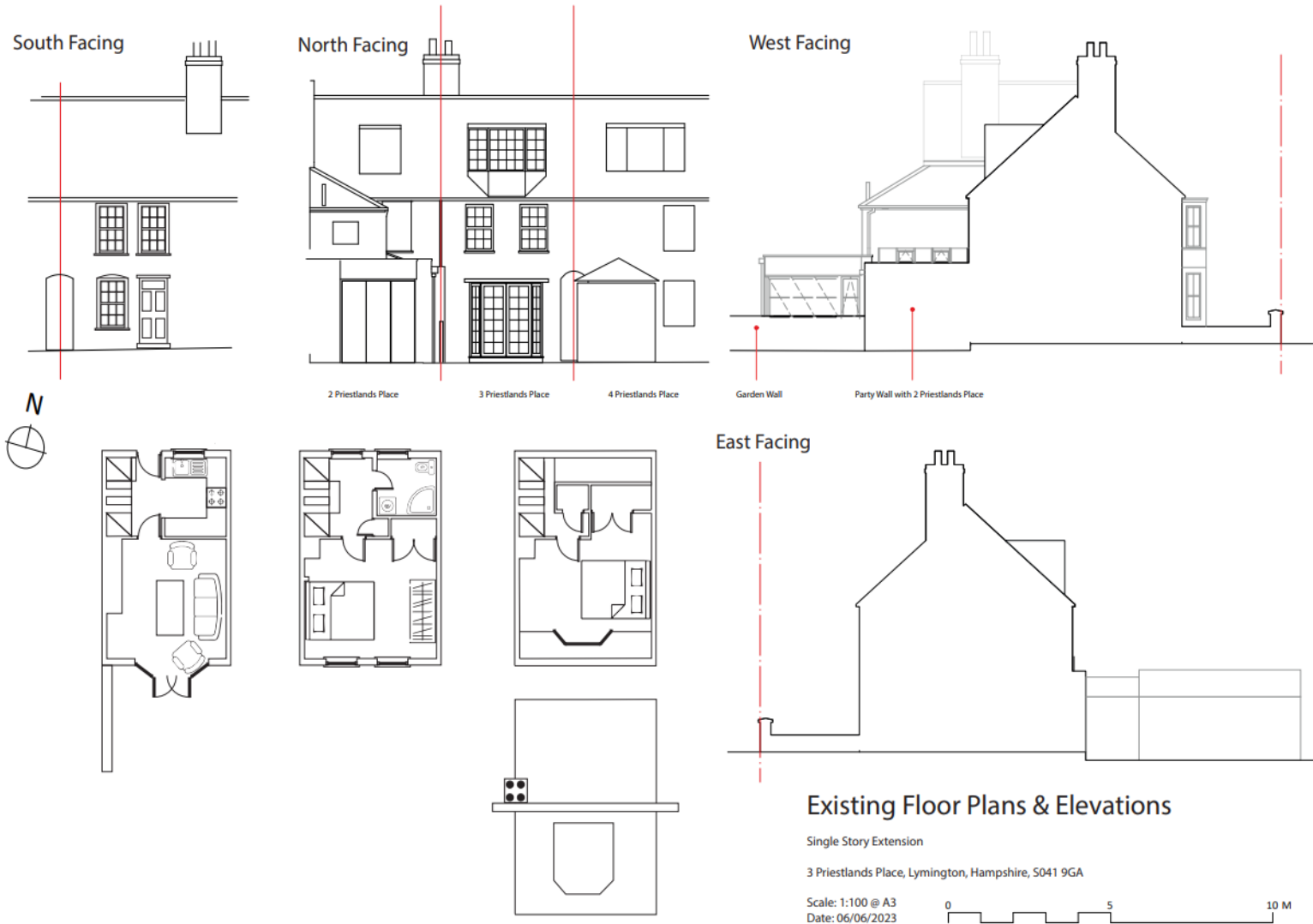
View over neighbouring gardens

141

3f 23/10516



# Existing plans



# Proposed elevations

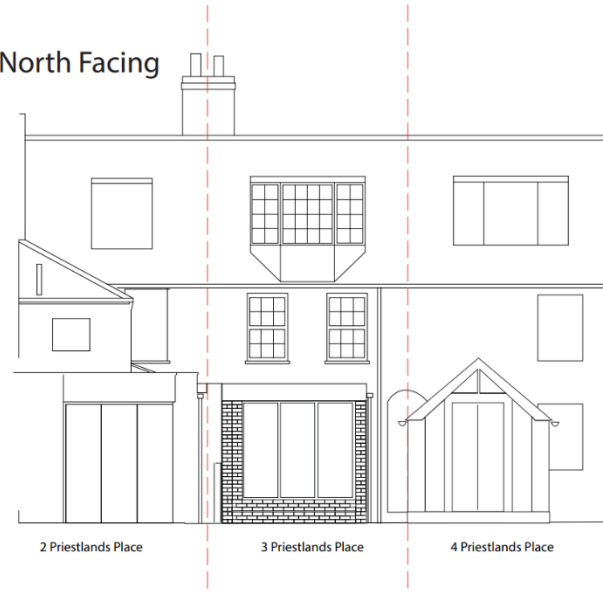


145

South Facing  
No Change



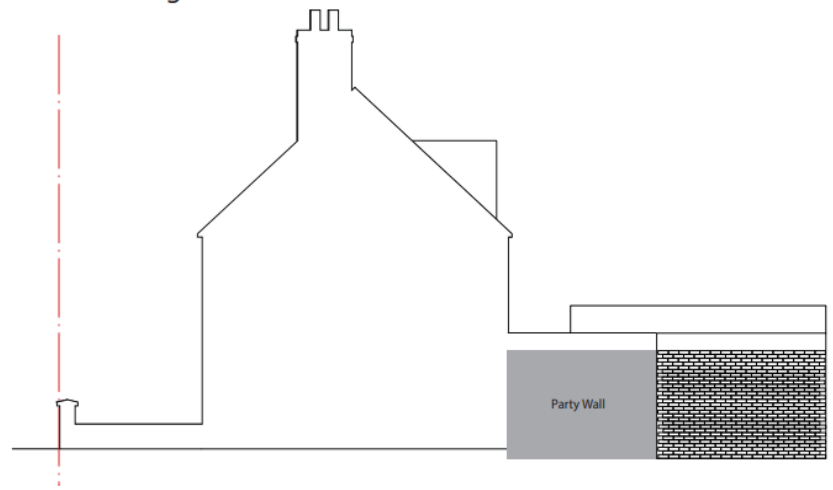
North Facing



West Facing



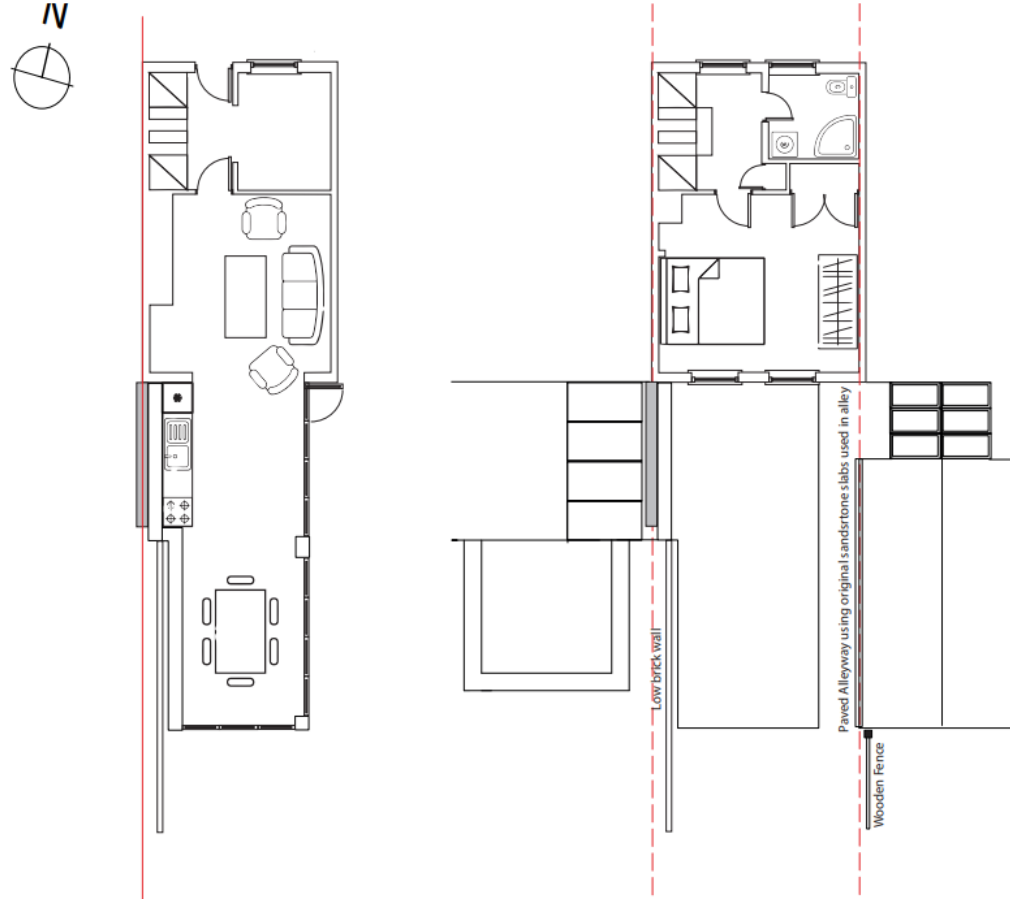
East Facing





# Proposed floor plan

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3f 23/10516





# Recommendation

- For the reasons laid out in the report, it is recommended that the application be conditionally approved



End of 3f 23/10516 presentation



**New Forest**  
DISTRICT COUNCIL

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PLANNING COMMITTEE – 8 MAY 2024

## COMMITTEE UPDATES

**Item 3a: Land at Everton Nurseries, Christchurch Road, Everton, Hordle (23/10623)**

### **Policies:**

DM20 should be included under Local Plan Part 2 - Sites and Development Management

### **Representations:**

Further third party correspondence has been received since the publication of the main agenda. These representations ask, notwithstanding the residents' view on the recommendation, for consideration of additional planning conditions to cover:

- No construction traffic to use Farmers Walk.
- No out of hours work or weekend work on site.
- A wheel washer to be used on site to prevent mud being taken on to the highway.
- An acoustic fence to be erected by the developer (at his cost) on the boundary of the development site with Trewan and Shepherds Way.

### **Planning Considerations:**

In considering the above request for further conditions Members attention is drawn to condition 11 (page 38 of the agenda) which secures the Construction Environmental management Plan (CEMP). This condition in the third from last bullet point includes "*details of parking and traffic management*". The submission of details pursuant to this condition will address the first point above. The requirements of the CEMP can also include details of the steps that will be undertaken to ensure mud is not taken from site onto the local road network. This addition is included below.

An additional criterion can also be added into the CEMP to control the hours of work on the site.

Condition 7, criterion (g) (page 37 of the agenda) captures means of enclosure as part of the landscaping details. The final paragraph of the amenity consideration (Page 28 of the agenda) concludes that any noise from the application site once occupied would be residential in nature. To require an acoustic fence would therefore be an unreasonable request. Such a condition is not recommended.

**The correction of some typographical errors are set out below with deleted text shown struck through and new text underlined. These refer to the amenity considerations for the proposed "houses" section of the report on page 27 of the main agenda.**

The two storey dwelling on Plot 12 would have a minimum of 5 m separation from the side boundary of 4b Shepherds Way and located to the north of this existing property. An attached single storey element including a study and a double garage would be located to the west. The existing mature hedge to the boundary of No 4b would be retained to ensure suitable screening and any amenity impacts are acceptable mitigated, Any impact on light would be acceptable and a dominant impact would not result particularly given the existing

structures in this area if in the nursery compound that would be removed . Plot 12 would have one first floor side bathroom window (east elevation) bathroom which is set back 5 m for the boundary with 4b with a separation of 6m. This window is a secondary one and will be obscure glazed so no loss of privacy would result. There would be a 12.5 m rear garden to the property on Plot 12 with a separation of over 22m between existing properties at 5 & 6 Shepherds Way.

Although the boundary is more open, there would be a minimum of 24 m separation between Plot 13 and 14 and 7-10 Shepherds Way which is acceptable.

Plot 15 is angled on its plot and is closest to the front rear elevation of 12 Honeysuckle Gardens. There is a mature tree in the north-western corner of this plot offering some screening. With a separation is of a minimum of 16 m ~~so~~ there would be no over dominant impact . Although located to the south of this existing property the separation would ensure light would not be affected. Rear windows of Plot 15 would be 20 m from the front rear of 14 Honeysuckle Gardens and any views towards this property would be oblique ones.

12 Honeysuckle Gardens has 3 side facing ground floor windows and 1 first floor window in its gable end. There would be approximately 15 m separation between Plot 17 and 18 and the side of this existing dwellings. There would be two rear facing bedroom window windows and a bathroom window in each of the new properties on Plots 17 and 18. The closest windows that would face this boundary are in Plot 17 and would look predominantly towards the side flank wall of No 12 which would screen any views toward the rear garden such that harmful overlooking of this adjoining property would not result.

**Updates to conditions 4, 9, 11, 12, 14, 18 and 20 are shown underlined.**

**4.** Before development commences, excluding demolition and site clearance, the proposed slab levels in relationship to the existing ground levels set to an agreed datum shall be submitted to and approved in writing by the Local Planning Authority. Development shall only take place in accordance with those details which have been approved.

**9.** No development, demolition or site clearance shall take place within the agreed Root Protection Area (RPA) until a method statement and engineering drawings for the installation of any new hard surfaced areas/pathways or drainage works encroaching the rooting areas of the retained trees has been submitted and agreed to in writing with the Local Planning Authority: Development shall only take place in accordance with these approved details.

**11.** Prior to construction (including demolition) commencing on the site, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority. The CEMP shall include the following details:

- Development contacts, roles and responsibilities
- Site operation/working hours
- A construction site layout plan with the position of the site office and welfare facility, areas for the storage of materials and construction waste.
- Public communication strategy, including a complaints procedure.
- Dust Management Plan (DMP) including suppression, mitigation and avoidance measures to control dust.
- Noise reduction measures, including use of acoustic screens and enclosures, the type of equipment to be used and their hours of operation.
- Use of fences and barriers to protect adjacent land, properties, footpaths and highways.



- Details of on site contractor parking and site related traffic management measures including measures to avoid mud from the site being transferred to the local highway.
- Details of any construction lighting and measures to control light spill and glare from any floodlighting and security lighting installed.
- Pest control

The approved details shall be implemented before the development hereby permitted is commenced and retained throughout the duration of construction. The development shall only be carried out in accordance with the CEMP so approved.

Reason: In order that the Local Planning Authority can properly consider the effect of the works on residential amenity [and highway safety] and in accordance with Policy ENV3 of the Local Plan

**12. Before construction commences (excluding demolition and site clearance)** , a full stage 2 Noise Impact Assessment shall be submitted to and approved in writing by the Local Planning Authority. This Noise Impact Assessment shall include the four key elements in accordance with ProPG: Planning & Noise Professional Practice Guidance on Planning & Noise for New Residential Development (May 2017) and to ensure that internal and external noise levels for the residential accommodation shall not exceed the designated minimum standards stated. The scheme as approved in writing by the Local Planning Authority shall be implemented, maintained, and retained.

**14 Before the occupation of any of the dwellings,** a scheme for the offsetting of biodiversity impacts at the site, providing a minimum 10% biodiversity net gain, shall be submitted to and approved in writing by the Local Planning Authority. This should be supported an updated statutory biodiversity metric completed for the site and appropriate legal agreements to guarantee third party delivery of ongoing habitat management requirements.

The Offsetting scheme shall include:

- o Identification of offset site or sites;
- o Details of the offsetting requirements of the development in accordance with statutory biodiversity metric;
- o The provision of evidence of arrangements to secure the delivery of offsetting measures, including a timetable of delivery; and
- o A management and monitoring plan, to include for the provision and maintenance of the offsetting measures for a period of not less than 30 years from the commencement of the scheme. The management and monitoring plan is to include:
  - a. Description of all habitat(s) to be created/restored/enhanced within the scheme including expected management condition and total area;
  - b. Detailed design and working methods (management prescriptions) to achieve proposed habitats and management conditions, including extent and location or proposed works;
  - c. Type and source of materials to be used, including species list for all proposed planting and abundance of species within any proposed seed mix;
  - d. Identification of persons responsible for implementing the works;

- e. A timetable of ecological monitoring to assess the success of all habitats creation/enhancement. Ecological monitoring reports should be submitted to the LPA as a minimum in years 2, 5, 10, 20 and 30.
- f. The inclusion of a feedback mechanism to NFDC, allowing for the alteration of working methods/management prescriptions, should the monitoring deem it necessary.

The offsetting scheme shall thereafter be implemented in accordance with the requirements of the approved scheme.

**18.** Before development commences, (not including demolition and site clearance) a detailed surface water drainage scheme for the site, based on the principles within the approved drainage strategy, has been submitted to and approved in writing by the Local Planning Authority. The submitted details should include:

- i. A technical summary highlighting any changes to the design from that within the approved drainage strategy.
- ii. Infiltration test results undertaken in accordance with BRE365 and providing a representative assessment of those locations where infiltration features are proposed
- iii. Detailed drainage plans to include type, layout and dimensions of drainage features including references to link to the drainage calculations.
- iv. Detailed drainage calculations to demonstrate existing runoff rates are not exceeded and there is sufficient attenuation for storm events up to and including 1:100 + climate change.
- v. Evidence that urban creep has been included within the calculations.
- vi. Confirmation that sufficient water quality measures have been included to satisfy the methodology in the Ciria SuDS Manual C753.
- vii Exceedance plans demonstrating the flow paths and areas of ponding in the event of blockages or storms exceeding design criteria. Development shall only take place in accordance with the approved details.

**20.** Before development commences, (not including demolition and site clearance) details of the means of disposal of foul sewerage from the site shall be submitted to and approved in writing by the Local Planning Authority. Development shall only take place in accordance with the approved details.

**Item 3b: Land south of Hythe Road & east of St Contest Way, Marchwood (23/10172)**

For the avoidance of doubt the recommendation is to **Grant Permission subject to conditions**. There is no longer a requirement to secure a S.106 for the reasons set out in the update report.

The recommendation shown on the agenda front sheet for this committee meeting has published the original March 2024 recommendation in error, rather than the revised recommendation set out in the addendum update included in the committee papers.

**Item 3c: SS18 Middle Burgate House, Salisbury Road, Fordingbridge (22/11268)**

**13. RECOMENDATION**

Amend conditions

Condition 5 – include amended plan P010 rev G in approved plans list.

Condition 30 - delete as duplicated by condition 23. Remaining conditions re-numbered

Condition 31 - delete as duplicated by condition 24. Remaining conditions re-numbered.

Condition 33 – change text to the following

***Biodiversity net gain - securing uplift***

*Prior to the first occupation of any dwelling the details of a BNG package of on-site supplemented if necessary off-site of BNG shall be submitted to, and approved in writing by, the LPA. This package, whether on or off site or a combination of the two, should secure the identified BNG arising from the development and include:*

- i. An updated calculation of the number of biodiversity units required to provide a net gain in BNG in accordance with DEFRA Biodiversity Metric 3.0 Calculation July 2021 (or a metric based on the latest guidance);*
- ii. If offsetting is needed the details of the BNG project including its location;*
- iii. a timetable for the provision of the BNG project;*
- iv. details of the management of the BNG project*
- v. details of the future monitoring of the BNG project in perpetuity. The BNG package as approved shall be provided prior to the occupation of the penultimate dwelling on the site and thereafter retained as such.*
- vi. Written confirmation that the required number of offsetting BNG units had been secured*

*Reason: To ensure Biodiversity Net Gain is secured as part of the development in accordance with Policies STR1, ENV3, ENV4 of the Local Plan 2016-2036 Part One: Planning Strategy for the New Forest District outside the National Park and Policies DM1, DM2 of the Local Plan for the New Forest District*



**Item 3d: Crockets, Linford Road, Hangersley, Ringwood. (23/10926)**

Amended conditions. Revisions to the conditions proposed in the committee report shown underlined.

Condition 4.

No development shall take place above damp proof course (DPC) of the new dwellings hereby approved, until samples or exact details of the facing and roofing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall only be implemented in accordance with the approved details.

Reason: To ensure an acceptable appearance of the buildings.

Condition 5.

No development shall take place above damp proof course (DPC) of the new dwellings hereby approved, until a scheme of landscaping of the site has been submitted and approved in writing by the Local Planning Authority. This scheme shall include:

- a) the existing trees and shrubs which have been agreed to be retained;
- b) a specification for new planting (species, size, spacing and location);
- c) areas for hard surfacing and the materials to be used;
- d) other means of enclosure;
- e) a method and programme for its implementation and the means to provide for its future maintenance.

The approved scheme shall then be implemented and maintained in accordance with the approved details.

Reason: To ensure that the development takes place in an appropriate way and to safeguard trees and natural features which are important to the visual amenities of the area

Condition 7.

No development shall occur on House 1 above slab level before the following details in relation to House 2 (Crockets) have been submitted to and approved in writing by the Local Planning Authority:

- a) Large scale joinery details (elevations 1:10 and sections 1:5) for all new windows, external doors, soffits and fascias,
- b) Rainwater goods, and
- c) Details for the repair and preservation of the historic cob walls, timber frame and infill-panels.
- d) A timetable for the implementation of the proposed works

Development shall only take place in accordance with those details and timetable which have been approved.

Reason: To protect the character and architectural interest of the Heritage Asset.

**Item 3e: 3 Priestlands Place, Lymington (23/10454)**

Section 4 of the report should include the following reference to an additional planning application on the site:

23/10977 - Garden studio (Retrospective)

Conditionally Approved, 17.11.23

**Item 3f: 3 Priestlands Place, Lymington (23/10516)**

Section 4 of the report should include the following reference to an additional planning application on the site:

23/10977 - Garden studio (Retrospective)

Conditionally Approved, 17.11.23

3 additional letters of representation were received in support of the proposal following the report being written (2 from new addresses and 1 from an address that had previously expressed support for the scheme).

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